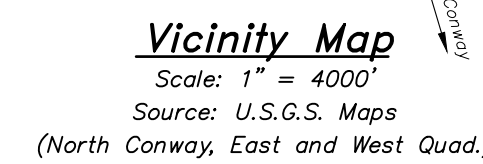


Conway, New Hampshire

Issued: September 9, 2025
Revised: September 26, 2025

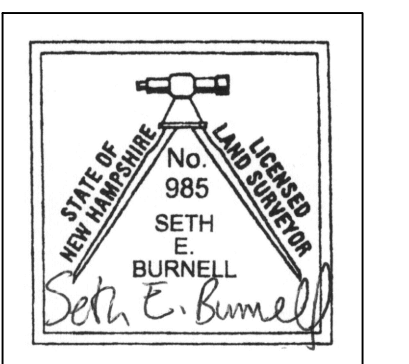
<u>Number</u>	<u>Sheet</u>	<u>Sheet Name</u>	<u>Latest Issue</u>
1.	C0.01	Cover Sheet	09/26/2025
2.	V0.01	Existing--Features Plan	09/26/2025
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9.	C5.11	Construction Details - General	09/09/2025
10.	C5.12	Construction Details - General	09/09/2025

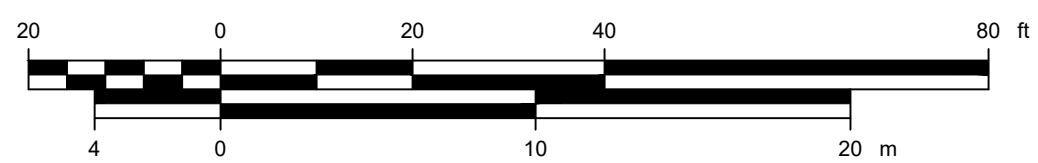
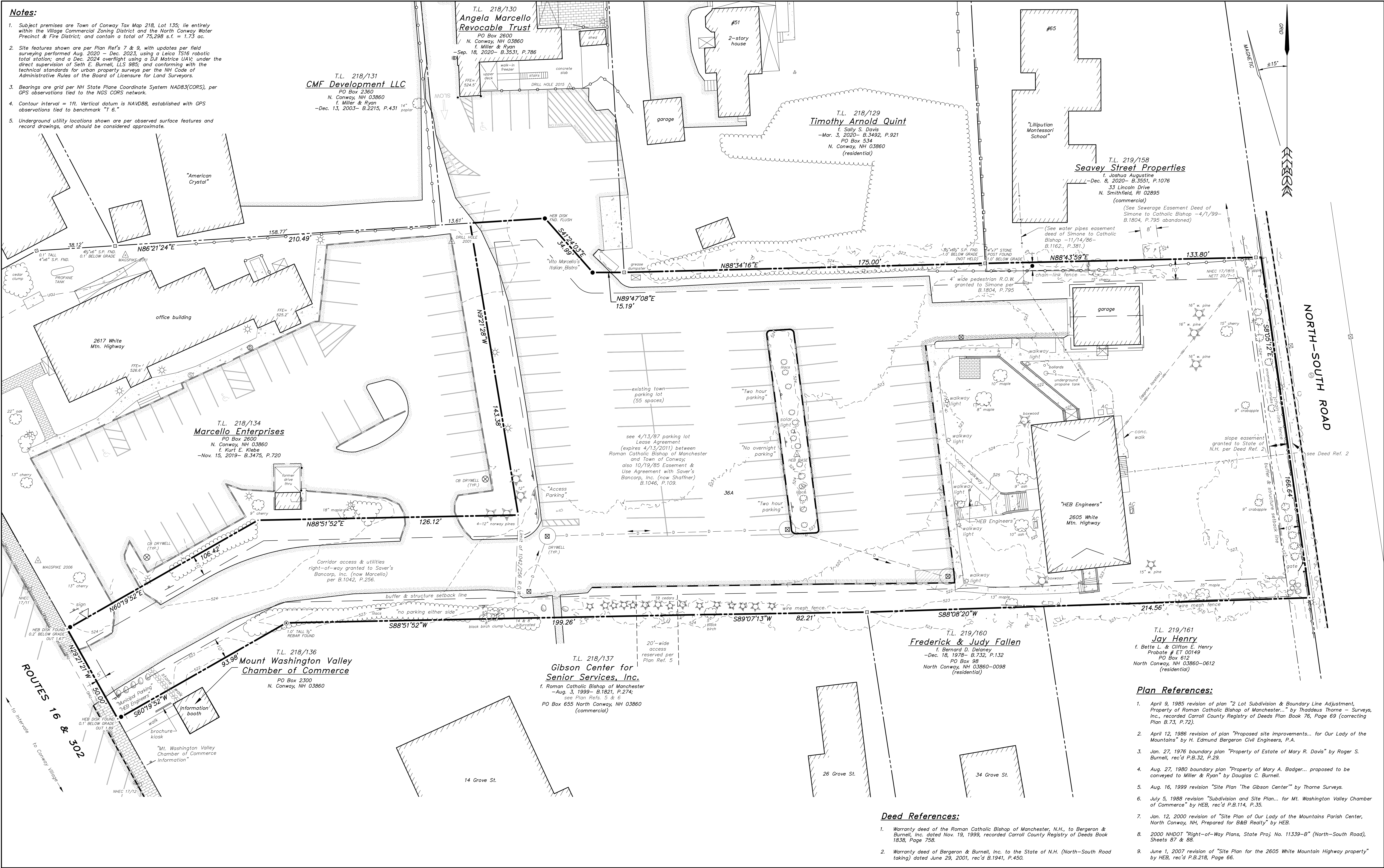
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13.	G-201	Garage North & South Elevations	09/04/2025
14.	G-202	Garage East & West Elevations	09/04/2025



Architect: Michael E. Couture, Architect
53 Technology Lane, Suite 109
Conway, NH 03818

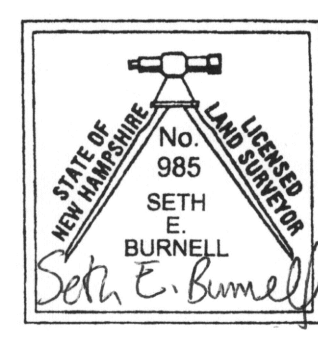
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1 inch = 20 feet
(1 : 240)

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FIELD BOOK	361
SCALE	1"=20'
DATE	09/09/2025

Existing-Features & Boundary Plan
for
HEB Engineers Office Building Expansion
in
Conway, New Hampshire
property of
Bergeron & Burnell, Inc.

2024-113

V1.01

SHEET 2 OF 14

1. Contractor shall protect all property markers throughout construction.
2. Contractor shall remove all existing manmade features within the limits of work including buildings, structures, pavement, slabs, curbing, fences, utility poles, signs, etc., unless indicated otherwise on the drawings in accordance with local, state, and federal regulations. Remove all unsuitable material within the proposed building footprint until suitable material is exposed and then remove all material within the building footprint and 10 feet beyond the building footprint. The Owner reserves the right to retain ownership of any materials removed as part of this project. Prior to disposal, the Contractor shall remove all features indicated on this sheet with local, state and federal regulations.
3. The Contractor shall legally dispose of all existing on-site materials not retained by the Owner, regardless of type, off project property. The capitalize contractor may neatly store debris and material on-site for reuse on the project. Debris and material storage area only.
4. After removal of existing features, the Contractor shall refill any holes with common fill and compact in accordance with NHDOT Item 209 except under proposed building areas. Under proposed building areas, Contractor shall refer to structural plans for backfill material.
5. All existing on-site materials to be reused as part of this project are to be stored neatly in staging or material storage area. Any materials shown to be reused that are damaged by the Contractor shall be repaired or replaced at no additional costs to the Owner.
6. The Contractor shall protect from damage any existing materials to remain. Any existing material damaged by the Contractor shall be repaired or replaced at no additional costs to the Owner.
7. Contractor is responsible for coordinating with the local utility companies for on-site utility relocation. The respective utility companies are responsible for removal of existing overhead utilities, and installation of new, as indicated on the plans.
8. Clearing, grubbing, and tree removal shall be in accordance with NHDOT Section 201.

T.L. 218/130
Angela Marcello
Revocable Trust

T.L. 218/129
Timothy Arnold Quint

T.L. 219/158
Seavey Street Properties

T.L. 218/134
Marcello Enterprises

EXISTING PARKING SIGN TO BE
REPLACED WITH ADA PARKING SIGN.

EXISTING ADA PARKING SIGN
TO BE RELOCATED

SAWCUT EXISTING
PAVEMENT (TYP.)

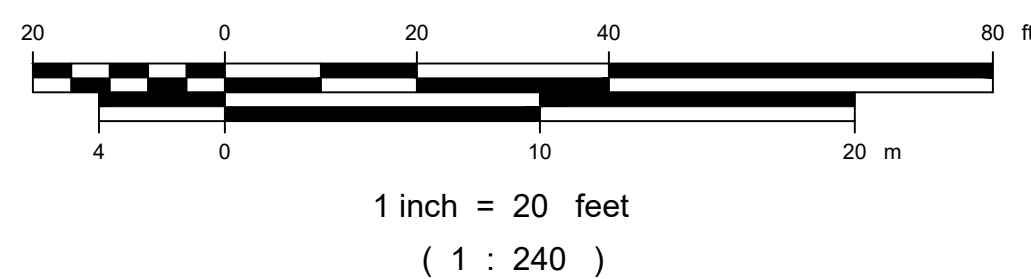
EXISTING PAVEMENT
TO BE REMOVED.

T.L. 219/160
Frederick & Judy Fallen

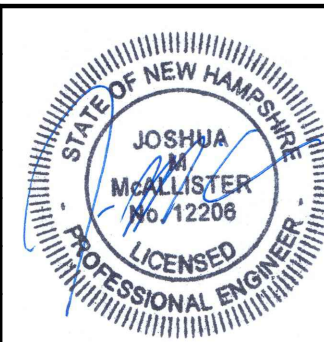
T.L. 219/161
Jay Henry

T.L. 218/136
Mount Washington Valley
Chamber of Commerce

T.L. 218/137
Gibson Center for
Senior Services, Inc.



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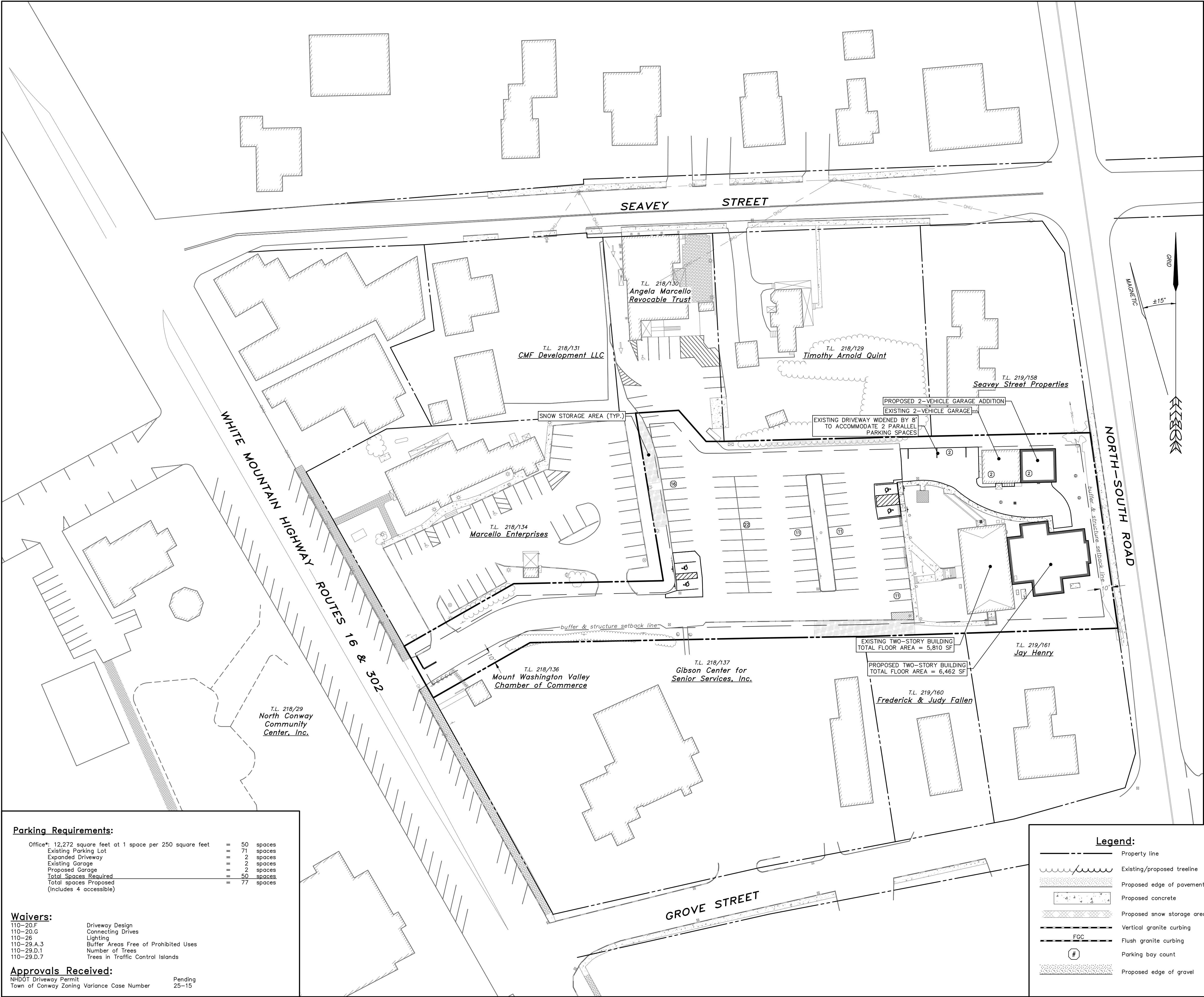
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Demolition Plan
for
HEB Engineers Office Building Expansion
in
Conway, New Hampshire
property of
Bergeron & Burnell, Inc.

2024-113

D1.01

PAGE 3 OF 14



Parking Requirements:

Office*: 12,272 square feet at 1 space per 250 square feet	=	50 spaces
Existing Parking Lot	=	71 spaces
Expanded Driveway	=	2 spaces
Existing Garage	=	2 spaces
Proposed Garage	=	2 spaces
Total Spaces Required	=	50 spaces
Total spaces Proposed	=	77 spaces
(Includes 4 accessible)		

Waivers:

110-20.F	Driveway Design
110-20.G	Connecting Drives
110-26	Lighting
110-29.A.3	Buffer Areas Free of Prohibited Uses
110-29.D.1	Number of Trees
110-29.D.7	Trees in Traffic Control Islands

Approvals Received:

NHDOT Driveway Permit	Pending
Town of Conway Zoning Variance Case Number	25-15

Town of Conway
Planning Board
Site Plan Review Approval

DATE _____
SIGNATURE _____

General Notes:

- Construction requirements for roads, parking areas, bridges, sidewalks, and drainage facilities shall be in accordance with the "Standard Specifications for Road and Bridge Construction" as published by the State of New Hampshire Department of Transportation (NHDOT), and the road standards of Conway's Subdivision Regulations. In cases where alternative construction specifications are suggested by the Applicant, the Planning Board shall determine which shall be applicable.
- Provide and install all materials required to complete site layout instructions.
- The landscaping of the site depicted in these plans is integral to approval by the Town of Conway Planning Board and shall be reasonably maintained and, when dead or removed, must be reasonably replaced.
- The Owner has represented to the Town of Conway Planning Board and depicted or noted hereon all known restrictions and easements applicable to this land. All applicable restrictions and easements of record for this land, whether or not depicted or noted hereon, shall not be affected or modified by the approval hereunder.
- The Applicant has designed this site to safely accommodate maximum length vehicles and trucks, either delivering to, or using the facility.
- Snow storage locations are shown on this sheet. Additional snow must be removed from property within 48 hours.
- All waste materials and recyclables shall be contained within the building(s) or approved storage facilities and shall not be otherwise stored on the property.
- To the best of my knowledge, information, and belief, the improvements proposed on this plan comply with the requirements of the North Conway Village Commercial (NCVC) Zoning District.
- All site signage and pavement markings shall conform to the latest edition of "The Manual of Uniform Traffic Control Devices" (MUTCD) and NH Department of Transportation's standards.
- Provide traffic control and flaggers (if required) complying with the Town of Conway and State Department of Transportation requirements.
- To the best of my knowledge, the proposed improvements on this plan comply with the requirements of the Americans with Disabilities Act (ADA).
- Outdoor display of goods are not proposed for this development.
- Site construction shall comply with Section 110-38, Site Construction Standards of the Town of Conway Site Plan Review Regulations.
- The Contractor is responsible for repair to all damages caused during construction.
- The Contractor is responsible for restoration to all disturbed areas outside the limits of work to pre-construction conditions utilizing a minimum of 4 inches of loam and seed.
- Subject property is serviced by the North Conway Fire Department.
- All light fixtures shall be international dark sky compliant, fully shielded, and installed per Manufacturer's specifications.

General Construction Requirements:

- Contractor is responsible for all work shown on the drawings, unless otherwise noted. Provide and install all materials required to complete site plans. Construction of the roadway and associated drainage must be completed prior to grading of lot development and drives.
- Perform all work in compliance with federal, state, and local permit approvals. Copies of all permit approvals shall be maintained at the project site.
- Contractor shall prepare a New Hampshire Department of Environmental Services (NHDES) Stormwater Pollution Prevention Plan and submit Notice of Intent complying with the EPA's requirements.
- Site security and job safety are the sole responsibility of the contractor. All construction activities shall comply with Occupational Safety and Health Administration (OSHA) standards and local requirements.
- The location of existing utilities are approximate and have not been independently verified. Contact "Dig Safe" 72 hours prior to any excavation at 1-888-344-7233 and any other utility owners for accurate utility marking. Pay for all damages which may occur by the failure to locate and preserve any utilities.
- At least one week prior to site clearing/demolition, request Owner's Representative to identify features to remain.
- All utility installations, including the location, size, depth, and specifications for construction of proposed utility services, shall be installed under the supervision of and complying with the requirements of the respective utility company (electric, telephone, cable, etc.).
- Field-verify the location, size, inverts, and types of existing pipes at all proposed points of connection prior to ordering materials. When an existing utility is found to be in conflict with the proposed work, the location, elevation and size of the utility shall be accurately determined without delay, and the information furnished in writing to the Owner's Representative for resolution of the conflict.
- Rim elevations of proposed drainage structures are approximate in paved areas. Final elevations are to be set flush and consistent with the grading plan. Adjust all other rim elevations to finished grade within the limit of work.
- Make all arrangements and pay any fees for relocation and/or alteration of utilities such as electric, telephone, cable, and any other private utilities.
- Make all necessary construction notifications and apply for and obtain all necessary permits not provided by owner, and pay all fees and post all bonds associated with the work indicated on the drawings.
- The subdivder acknowledges responsibility for maintenance of easement areas and assumption of liability for injuries and damages that may occur on any land to be dedicated for the public use until such land has been legally accepted by the Town.
- Topsail may not be removed from the site without the Town of Conway Planning Board approval.
- All street trees shall be in accordance with Section 131-37.1, of the Town of Conway Subdivision Regulations.
- All disturbed areas that are not to be developed with structures shall be stabilized with loam and seed.

Sheet Index

Number	Sheet	Sheet Name	Latest Issue
1.	C0.01	Cover Sheet	09/26/2025
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10.	C5.12	Construction Details - General	09/09/2025

Supplemental Plans: Architectural

11.	A-201	North & South Elevations	09/03/2025
12.	A-202	East & West Elevations	09/03/2025
13.	G-201	Garage North & South Elevations	09/04/2025
14.	G-202	Garage East & West Elevations	09/04/2025

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09/26/25

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No.

Revision

DATE

BY

STATE OF NEW HAMPSHIRE

JOSHUA M. MCALLISTER

NO. 12206

PROFESSIONAL ENGINEER

HEB

ENGINEERS

PO Box 440, North Conway, NH 03860

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AML/JJW

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AML/JJW

CHECKED BY

JMM

FIELD BOOK

361

SCALE

1"=40'

DATE

09/09/2025

Overall Site Layout Plan

for

HEB Engineers Office Building Expansion

in

Conway, New Hampshire

property of

Bergeron & Burnell, Inc.

2024-113

C1.01

SHEET 4 OF 14

40

0

40

80

160

ft

8

0

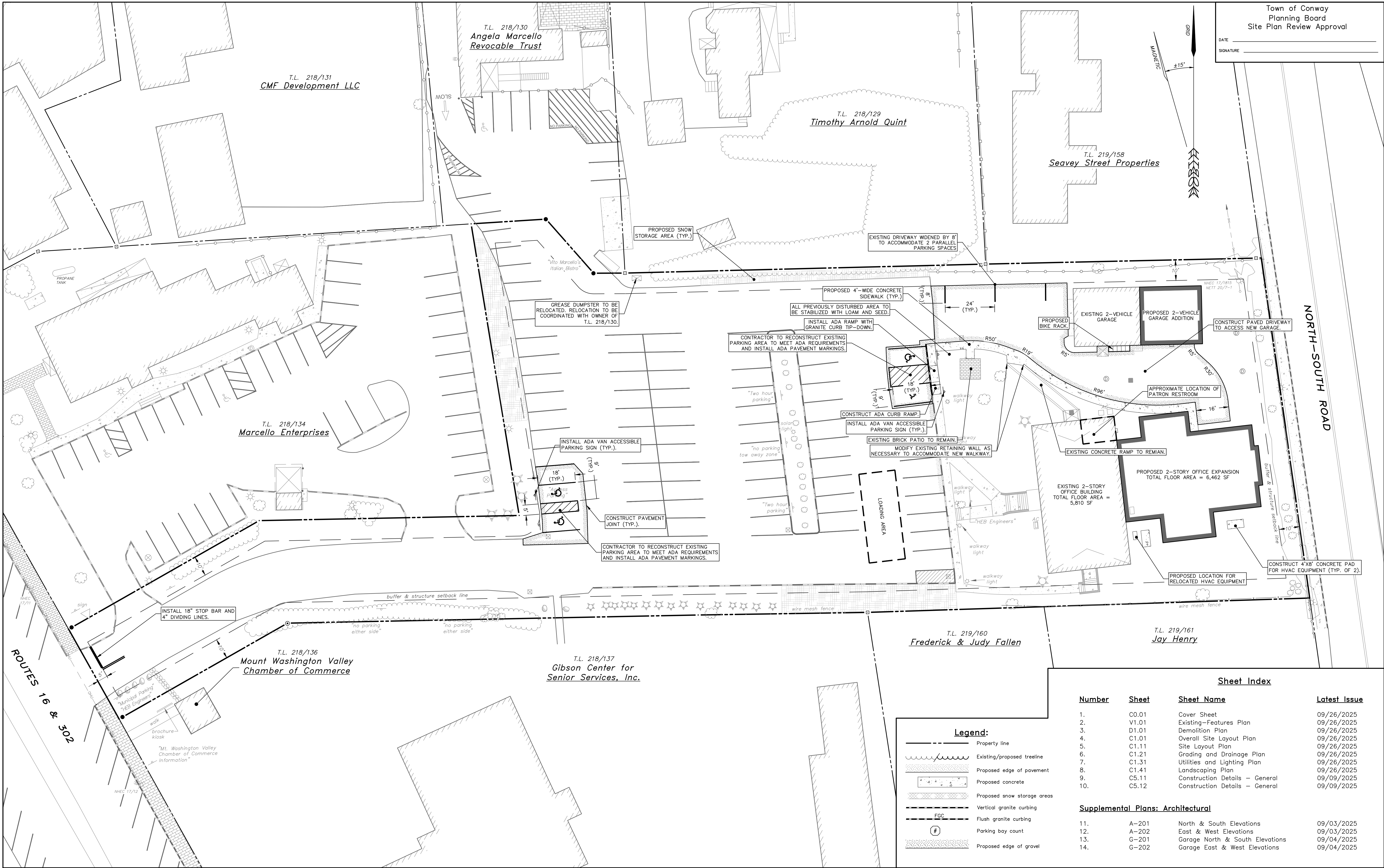
20

40

m

1 inch = 40 feet
(1 : 480)

P:\Jobs\2025\2025-113 HEB and GC25 - HEB Office Recreation, North Conway, NH\Drawings\Sheet\Plan\C1.01_Site Layout.dwg, C1.01_09/26/2025 9:23:02 AM, Adduser

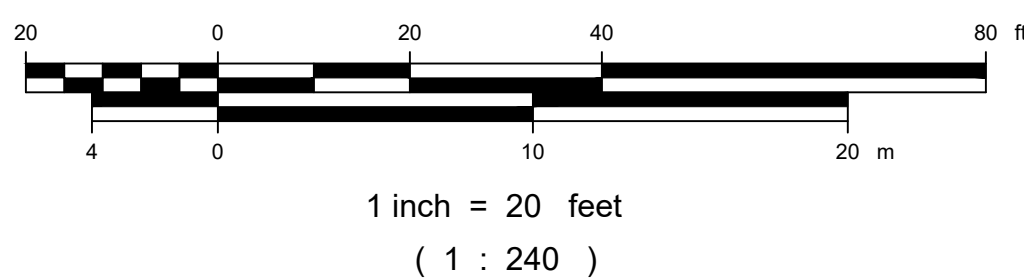


Sheet Index

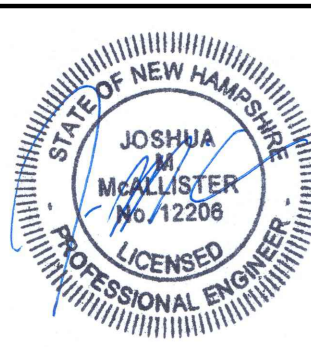
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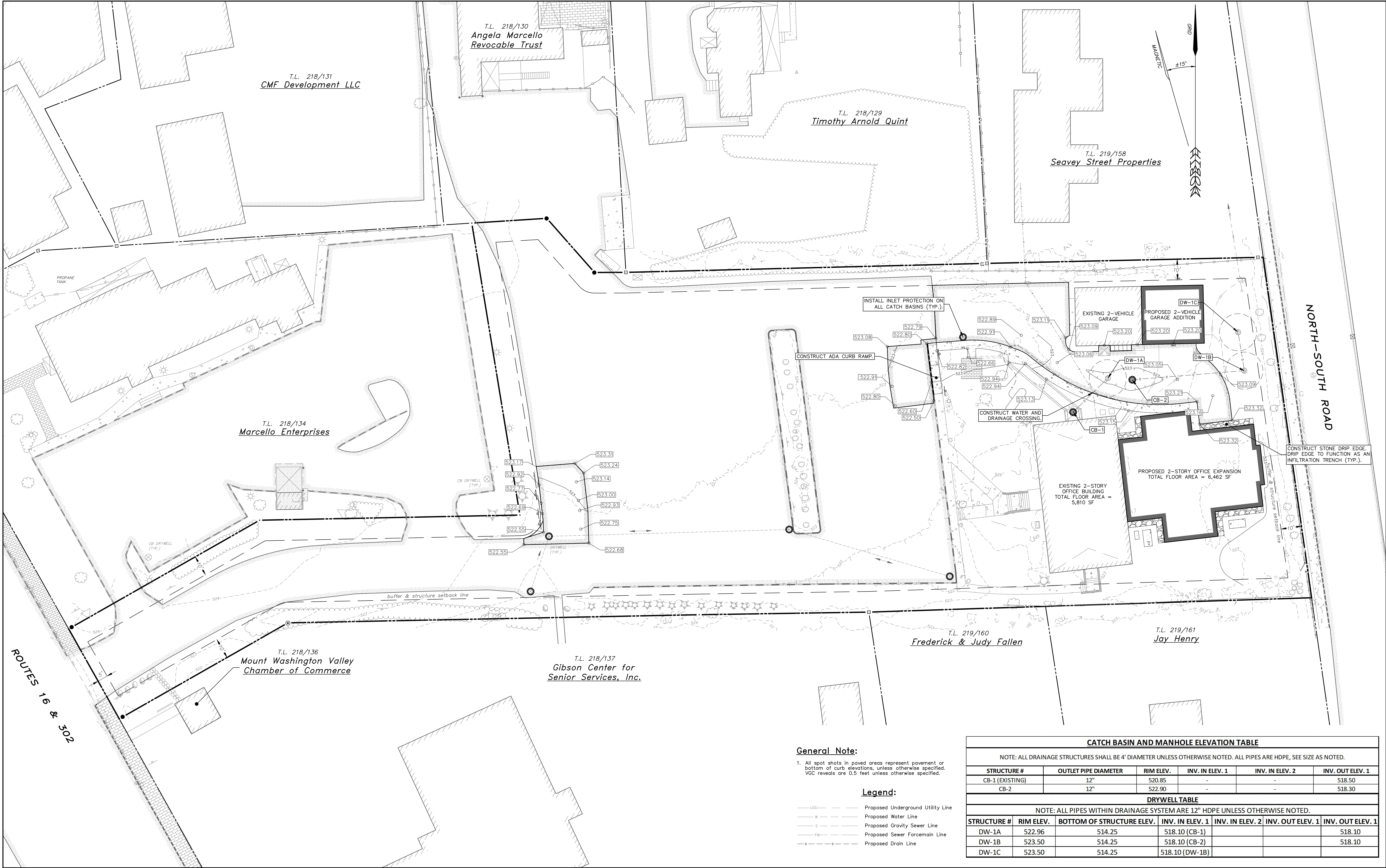
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Site Layout Plan
for
HEB Engineers Office Building Expansion
in
Conway, New Hampshire
property of
Bergerson & Burnell, Inc.

2024-113

C1.11



General Note:

1. All spot shots in paved areas represent pavement or bottom of curb elevations, unless otherwise specified. VGC reveals are 0.5 feet unless otherwise specified.

Legend:

- UGU— Proposed Underground Utility Line
—W— Proposed Water Line
—S— Proposed Gravity Sewer Line
—FM— Proposed Sewer Force Main Line
—D— Proposed Drain Line

CATCH BASIN AND MANHOLE ELEVATION TABLE

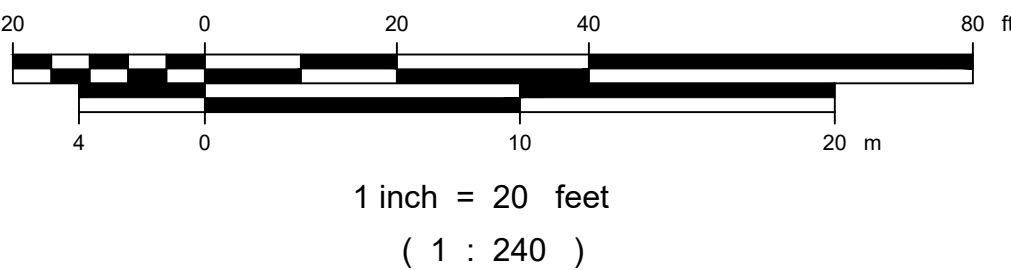
NOTE: ALL DRAINAGE STRUCTURES SHALL BE 4' DIAMETER UNLESS OTHERWISE NOTED. ALL PIPES ARE HDPE, SEE SIZE AS NOTED.

STRUCTURE #	OUTLET PIPE DIAMETER	RIM ELEV.	INV. IN ELEV. 1	INV. IN ELEV. 2	INV. OUT ELEV. 1
CB-1 (EXISTING)	12"	520.85	-	-	518.50
CB-2	12"	522.90	-	-	518.30

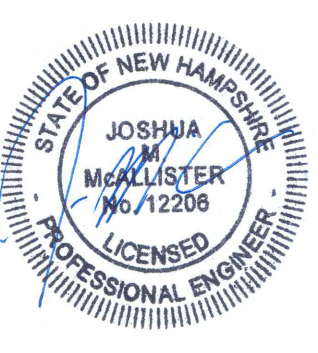
DRYWELL TABLE

NOTE: ALL PIPES WITHIN DRAINAGE SYSTEM ARE 12" HDPE UNLESS OTHERWISE NOTED.

STRUCTURE #	RIM ELEV.	BOTTOM OF STRUCTURE ELEV.	INV. IN ELEV. 1	INV. IN ELEV. 2	INV. OUT ELEV. 1	INV. OUT ELEV. 1
DW-1A	522.96	514.25	518.10 (CB-1)			518.10
DW-1B	523.50	514.25	518.10 (CB-2)			518.10
DW-1C	523.50	514.25	518.10 (DW-1B)			



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Grading and Drainage Plan
for
HEB Engineers Office Building Expansion
in
Conway, New Hampshire
property of
Bergeron & Burnell, Inc.

1. Perform all work in compliance with federal, state, and local permit approvals. Copies of all permit approvals shall be maintained at the project site.
2. Site security and job safety are the sole responsibility of the Contractor. All construction activities shall comply with Occupational Safety and Health Administration (OSHA) standards and local requirements.
3. The location of existing utilities are approximate and have not been independently verified. Contact "Dig Safe" 72 hours prior to any excavation at 1-888-344-7233 and any other utility owners for accurate utility marking. Contractor shall pay for all damages which may occur by the failure to locate and preserve any utilities.
4. The location, size, depth, and specifications for construction of proposed utility services shall be installed complying with the requirements of the respective utility company (electric, telephone, cable, etc.).
5. Field-verify the location, size, inverts and types of existing pipes at all proposed points of connection prior to ordering materials. Where an existing utility is found to be in conflict with the proposed work, the location, elevation, and size of the utility shall be accurately determined without delay, and the information furnished in writing to the Owner's Representative for resolution of the conflict.
6. Make all arrangements and pay any fees for relocation and/or alteration of utilities such as electric, telephone, cable, and any other private utilities.
7. Make all necessary construction notifications and apply for and obtain all necessary permits not provided by Owner, and pay all fees and post all bonds associated with the work indicated on the drawings.

Design Flow Designation:
Office: 10 gpd/employee

Office	10 gpd/employee
multiplied by	75 employee capacity
Total Flow =	670 gpd

Total Average Daily Flow = 750 gpd

Peaking Factor = 6 (Per NHDES Env Wq 704.03 (d))

$$\begin{array}{rcl} \text{Infiltration Rate} & = & 300 \text{ gpd/inch diameter/mile} \\ \text{Flow} & & 300 \text{ gpd} \\ \text{multiplied by} & & 6 \text{ (6" diameter sewer)} \\ \text{multiplied by} & & \underline{0.018 \text{ mi.}} \\ \text{Total Infiltration Rate} & = & 32.4 \text{ gpd} \end{array}$$

Peak Hourly Flow = Average Daily Flow x Peaking Factor + Infiltration Rate
Average Daily Flow = 750 gpd
multiplied by Peaking Factor = 750 gpd x 6 = 4500 gpd
plus Infiltration Rate = 4500 gpd + 32.4 gpd

Peak Hourly Flow = 4532.4 gpd


*Per Table 3-3 of Metcalf & Eddy "Wastewater Engineering Treatment Disposal Reuse", 4th Edition.

1. Provide submittals (gradations, proctors, product data, etc.) as directed by Owner's Representative(s) for all materials to be incorporated into the work.
2. Provide field testing of installed materials (compaction, density, leakage, etc.) as directed by Owner's Representative(s).
3. The Owner's Representative(s) shall have full access to the site when the work is in preparation and progress. They may observe the work on a periodic or full-time basis.
4. Provide detailed construction schedule to Owner's Representative(s) prior to construction.
5. Prior to burying any work, contact the Owner's Representative(s) to determine if they need to observe the work.

Disturbed Area	=	41,796 s.f.	
multiplied by	=	4.4 lumens/s.f.	(\$110-26)
Total allowable initial site lumens	=	183,902 lumens	

Proposed Lighting (per Luminaire Schedule):

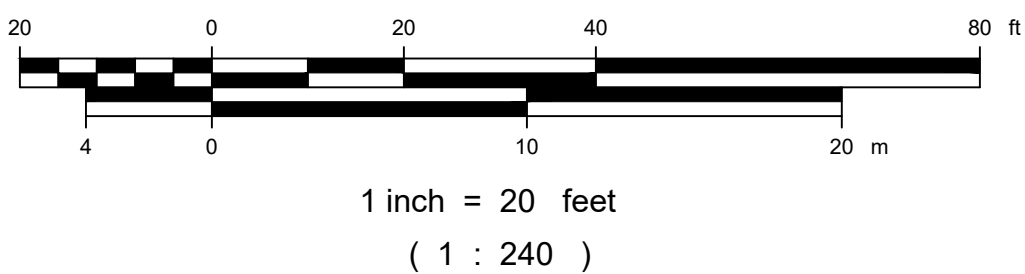
1 fixture at 3,944 lumens/fixture	=	3,944 lumens
Total proposed initial site lumens	=	3,944 lumens

Luminaire Schedule					
Symbol	Qty	Description	Lamp	LLF	Lumens
	6	ESETA WALL SCONCE ES1-24H-MV-NW-W-350 (12" MOUNTING HEIGHT)	LED	0.81	3,944

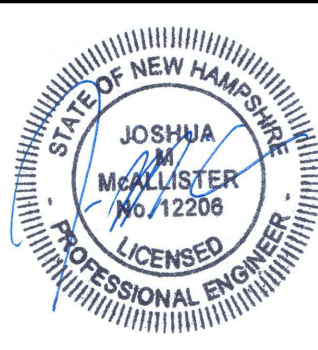
1. All light fixtures shall be International Dark Sky compliant, fully shielded, and installed per Manufacturer's specifications.

Utilities and Lighting Plan
for
HEB Engineers Office Building Expansion
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Bergeon & Burnell, Inc.

SHEET 7 OF 14



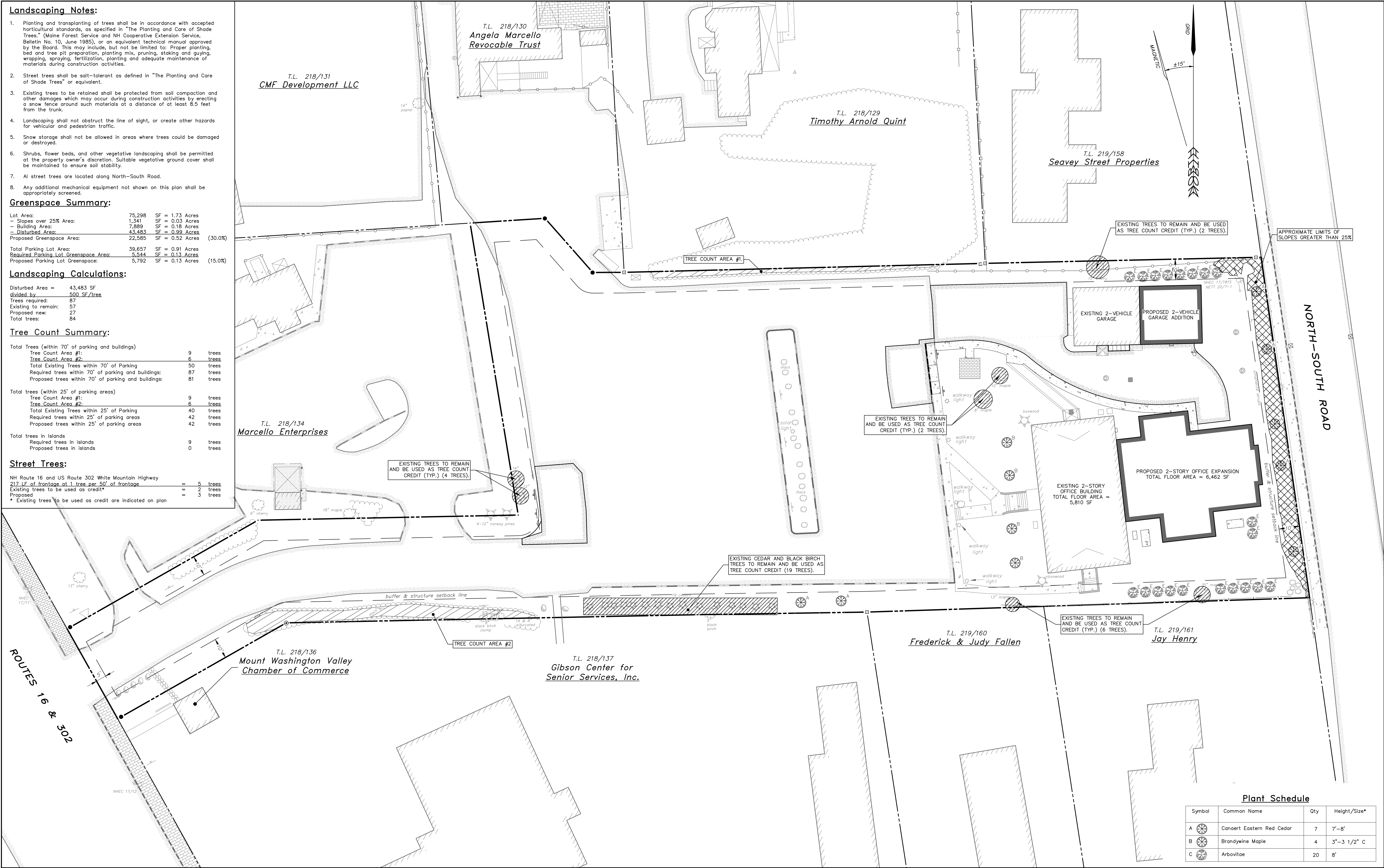
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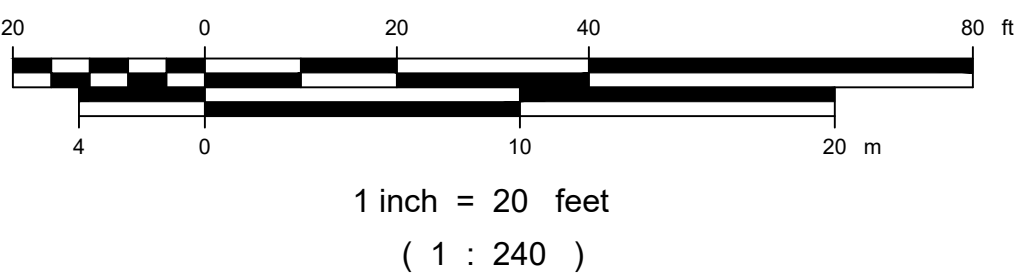
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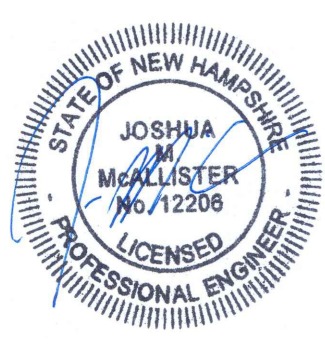


Plant Schedule

Symbol	Common Name	Qty	Height/Size*
A	Coneart Eastern Red Cedar	7	7'-8'
B	Brandywine Maple	4	3"-3 1/2" C
C	Arbovitae	20	8'



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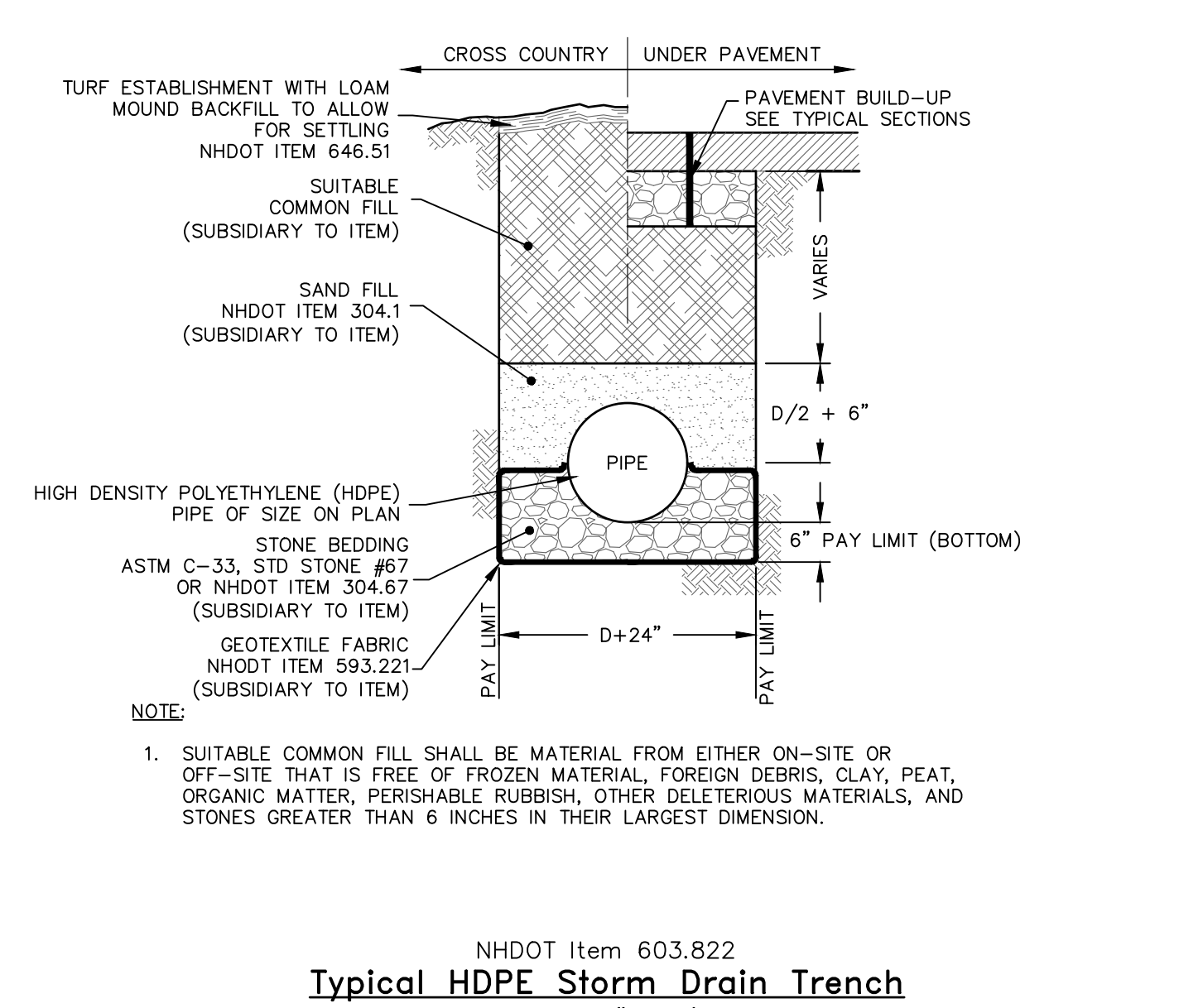
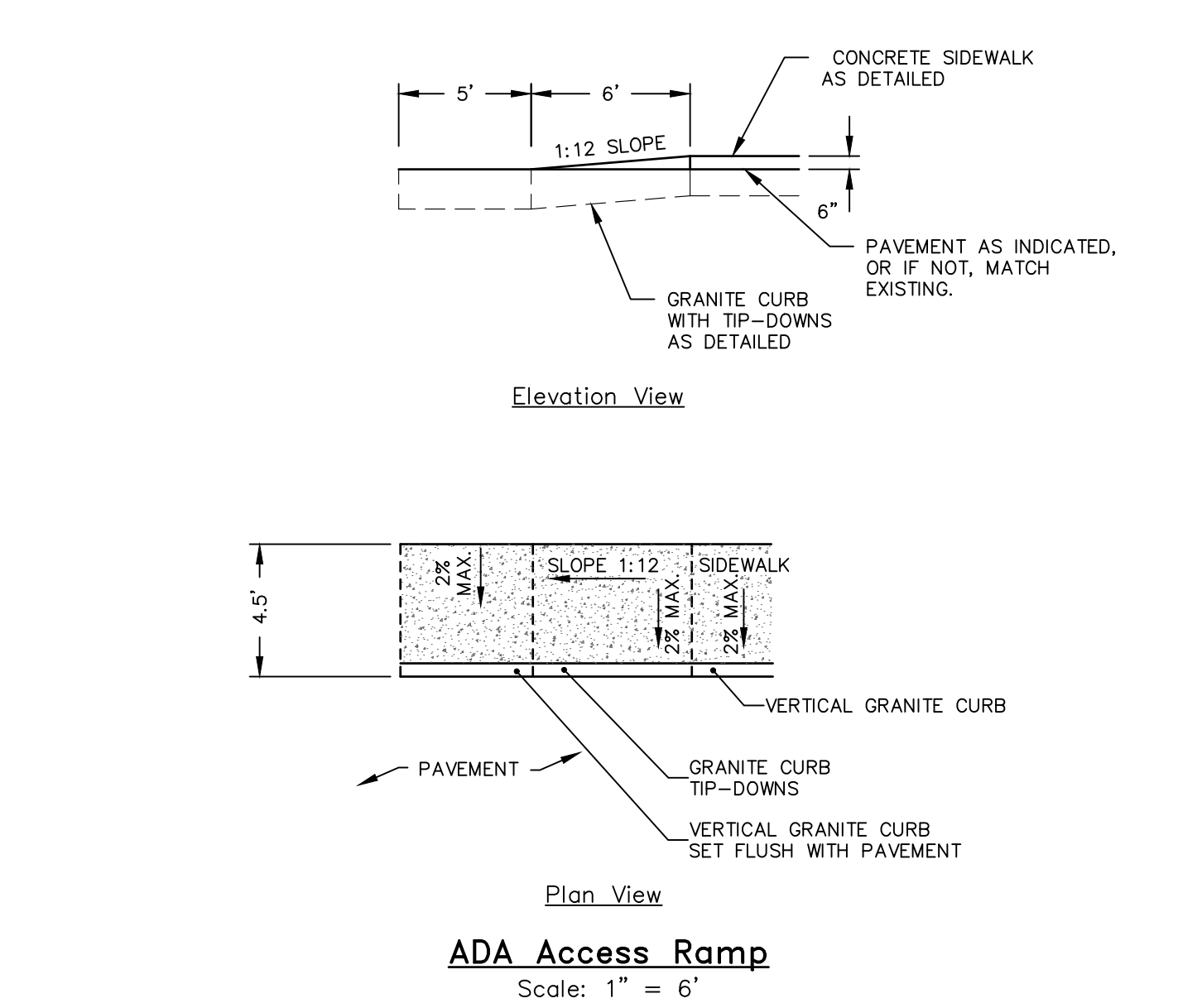
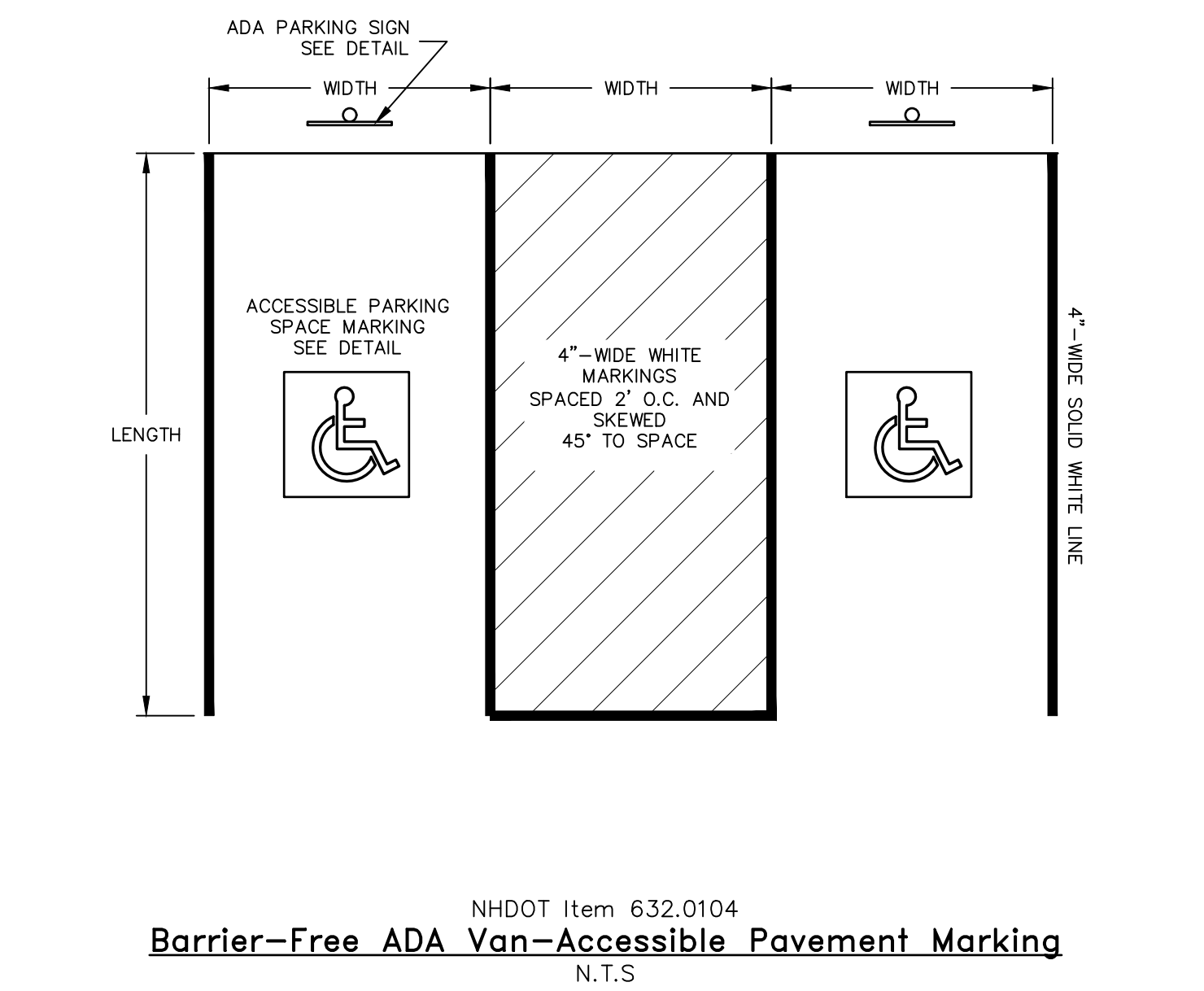
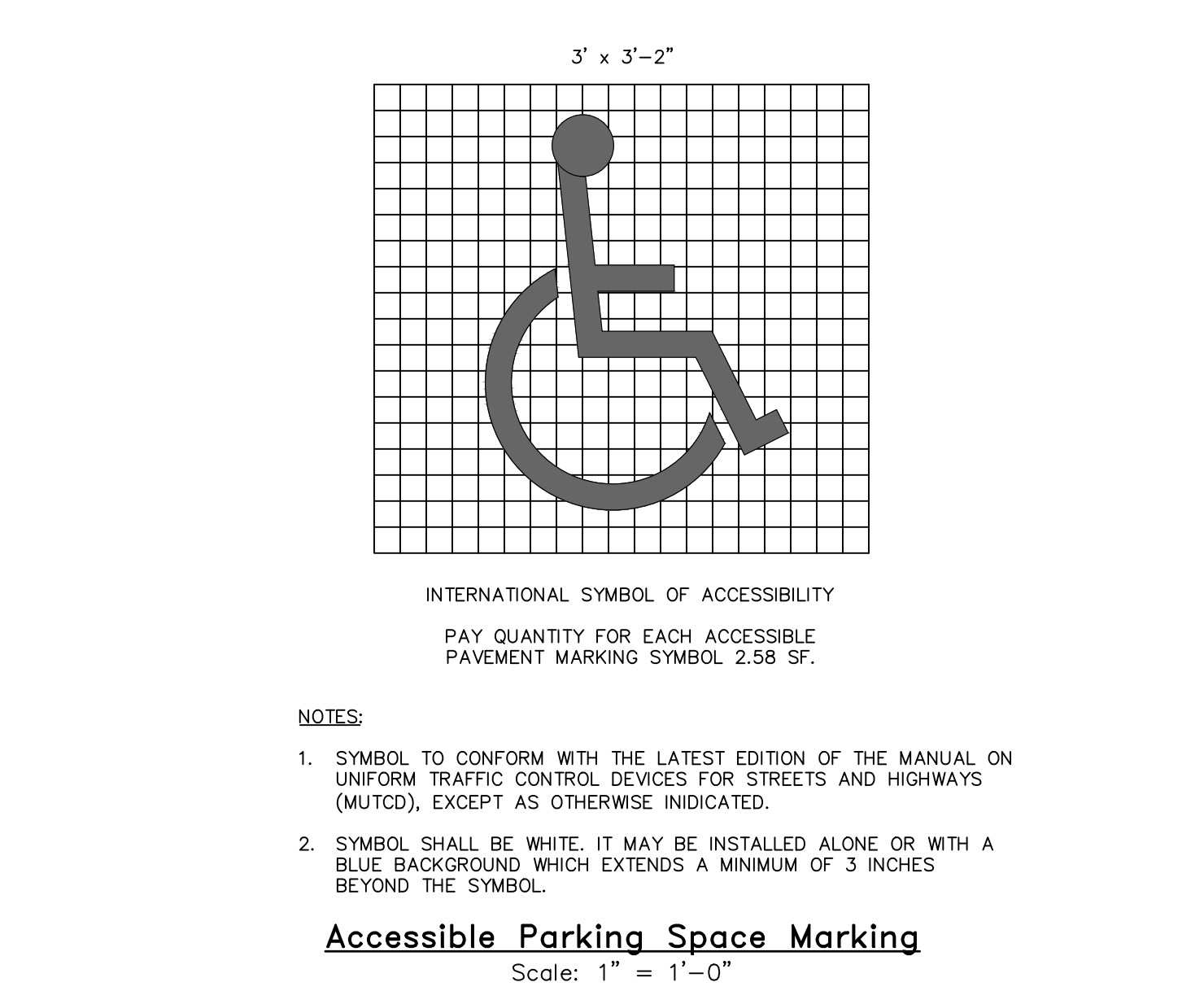
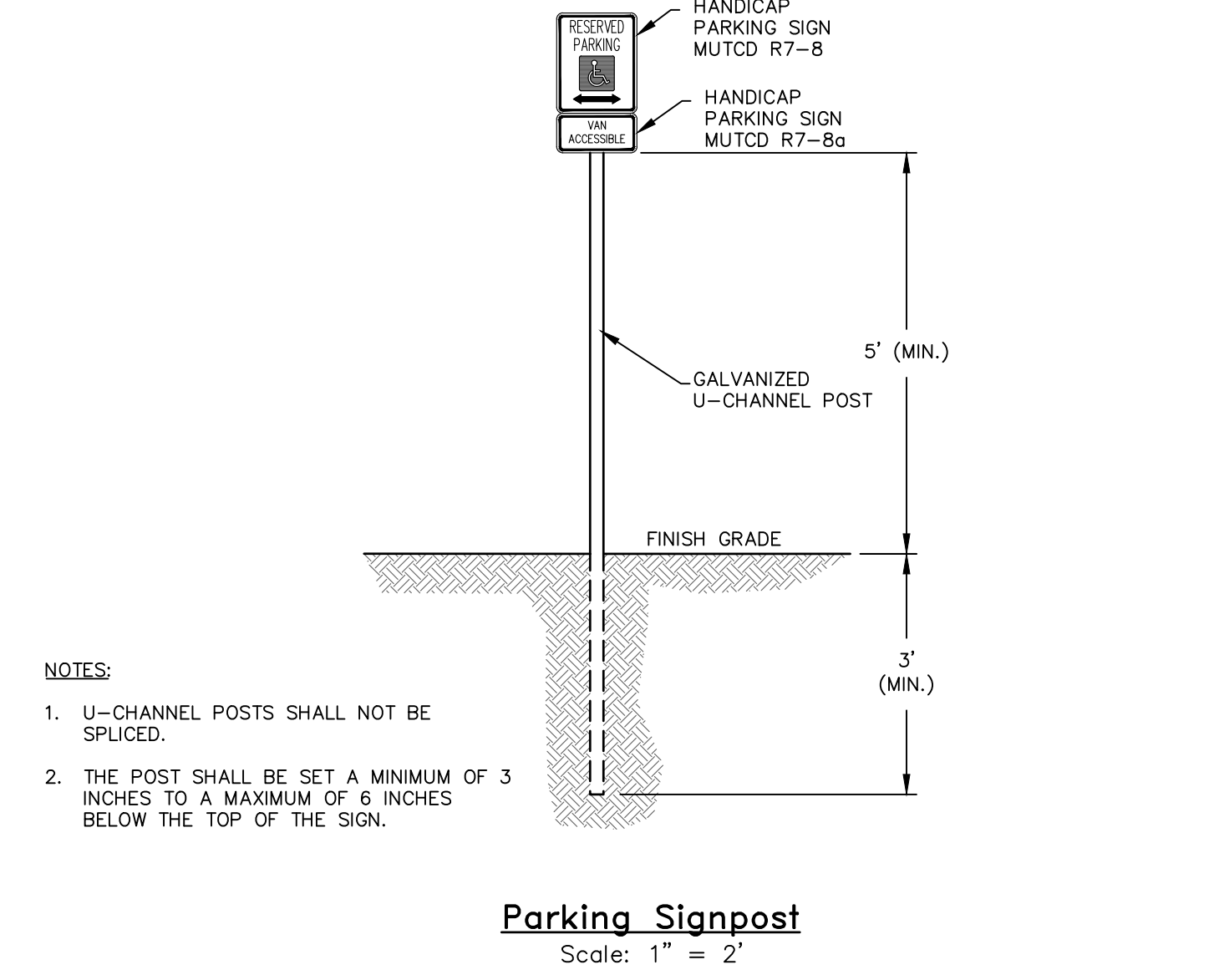
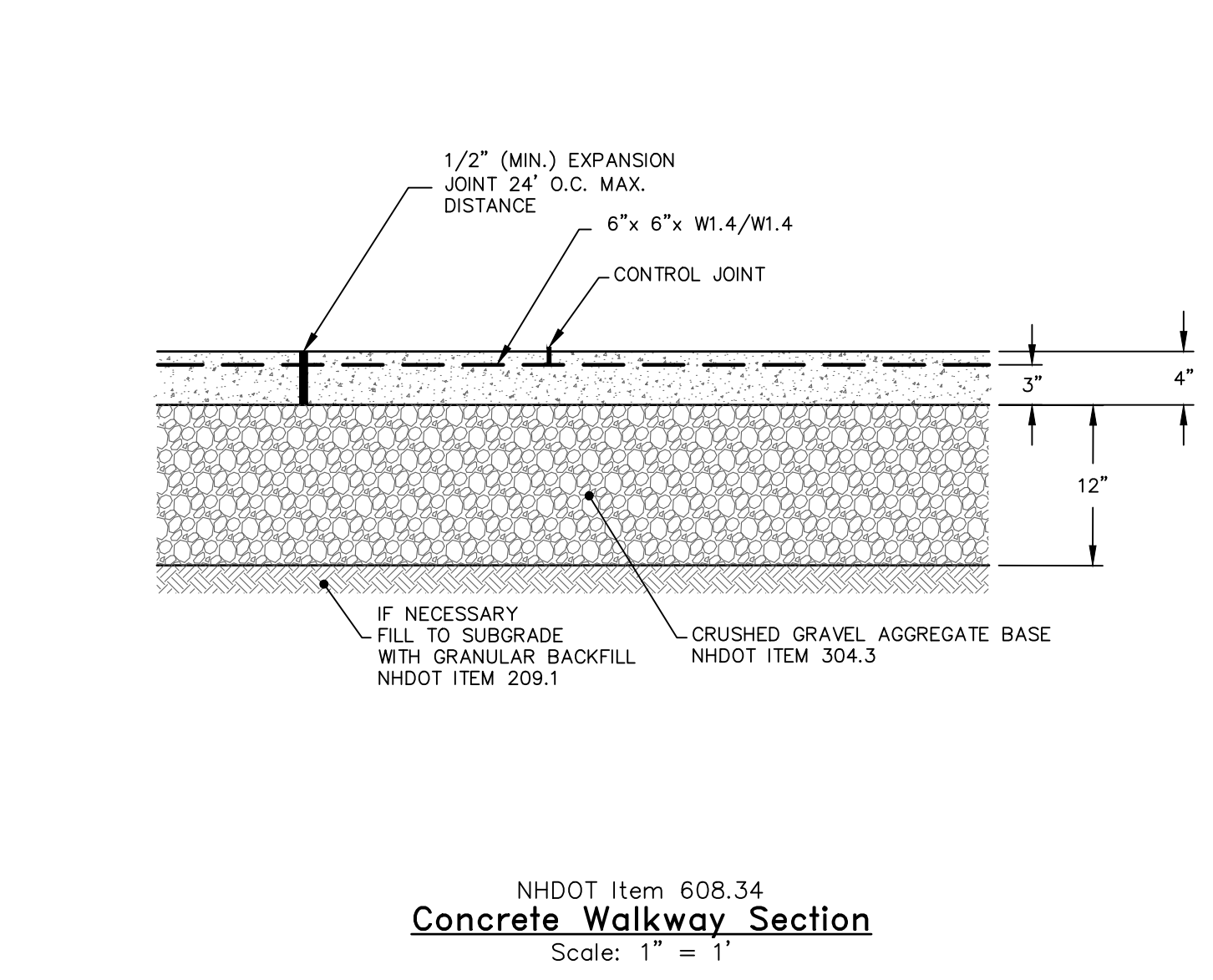
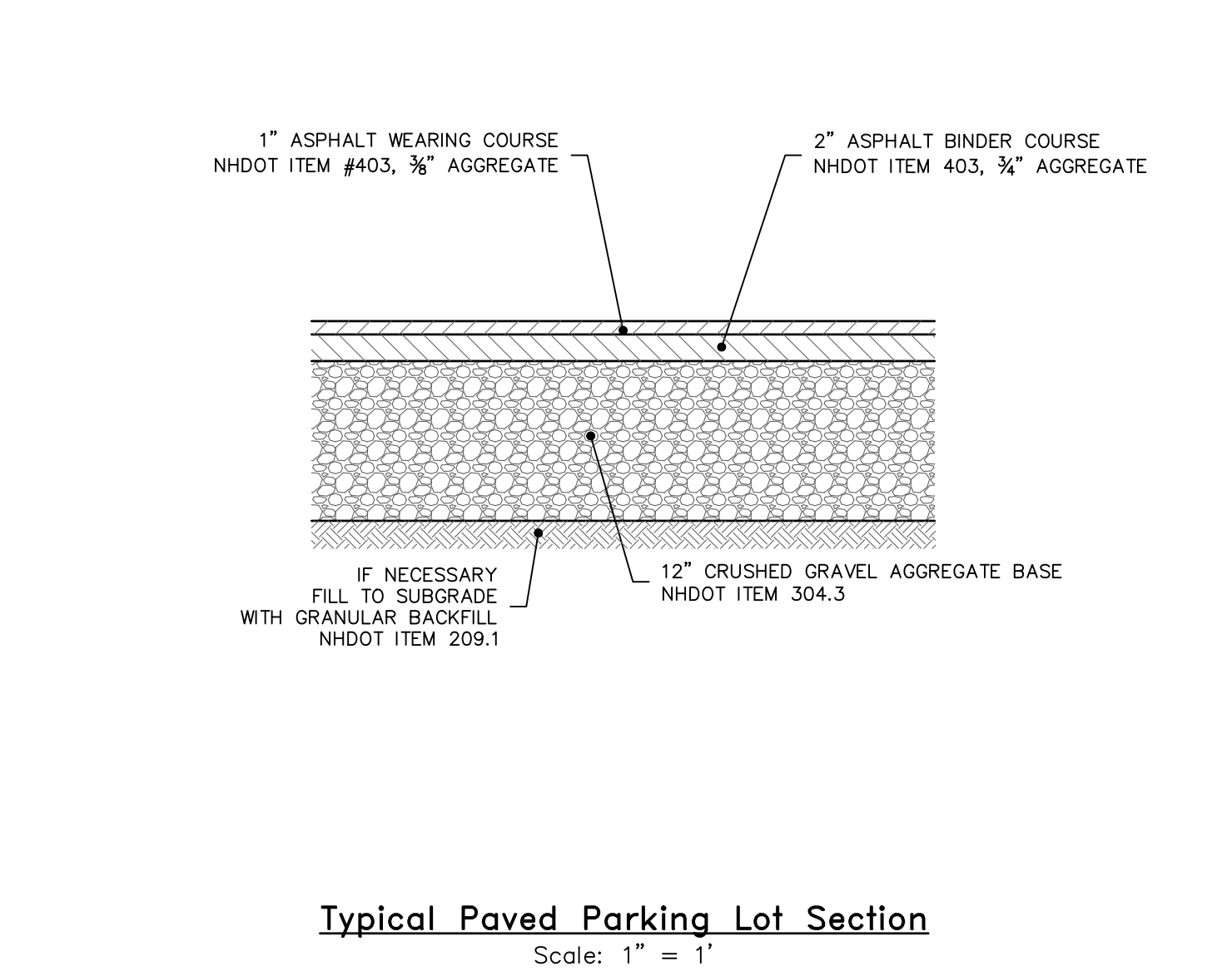
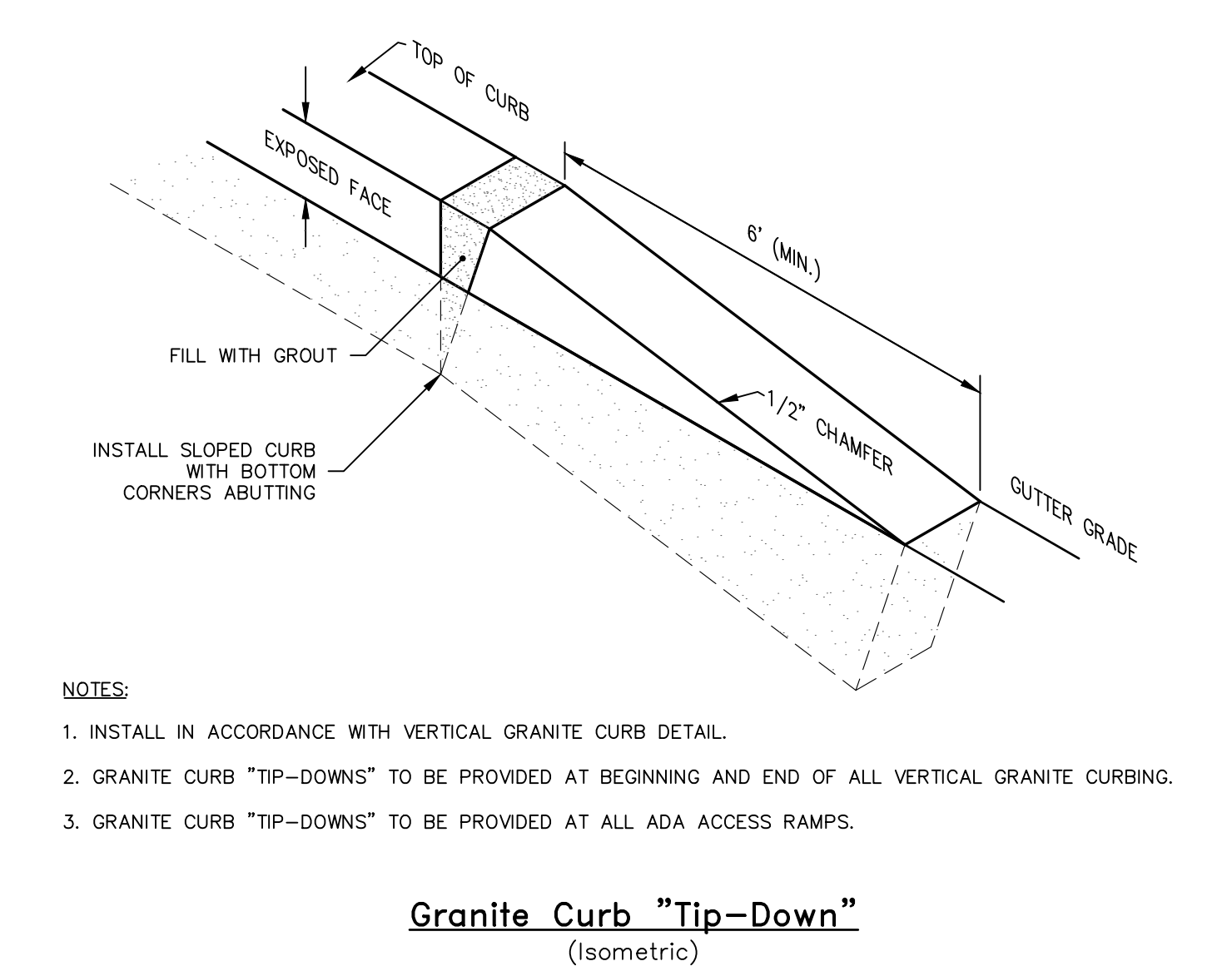
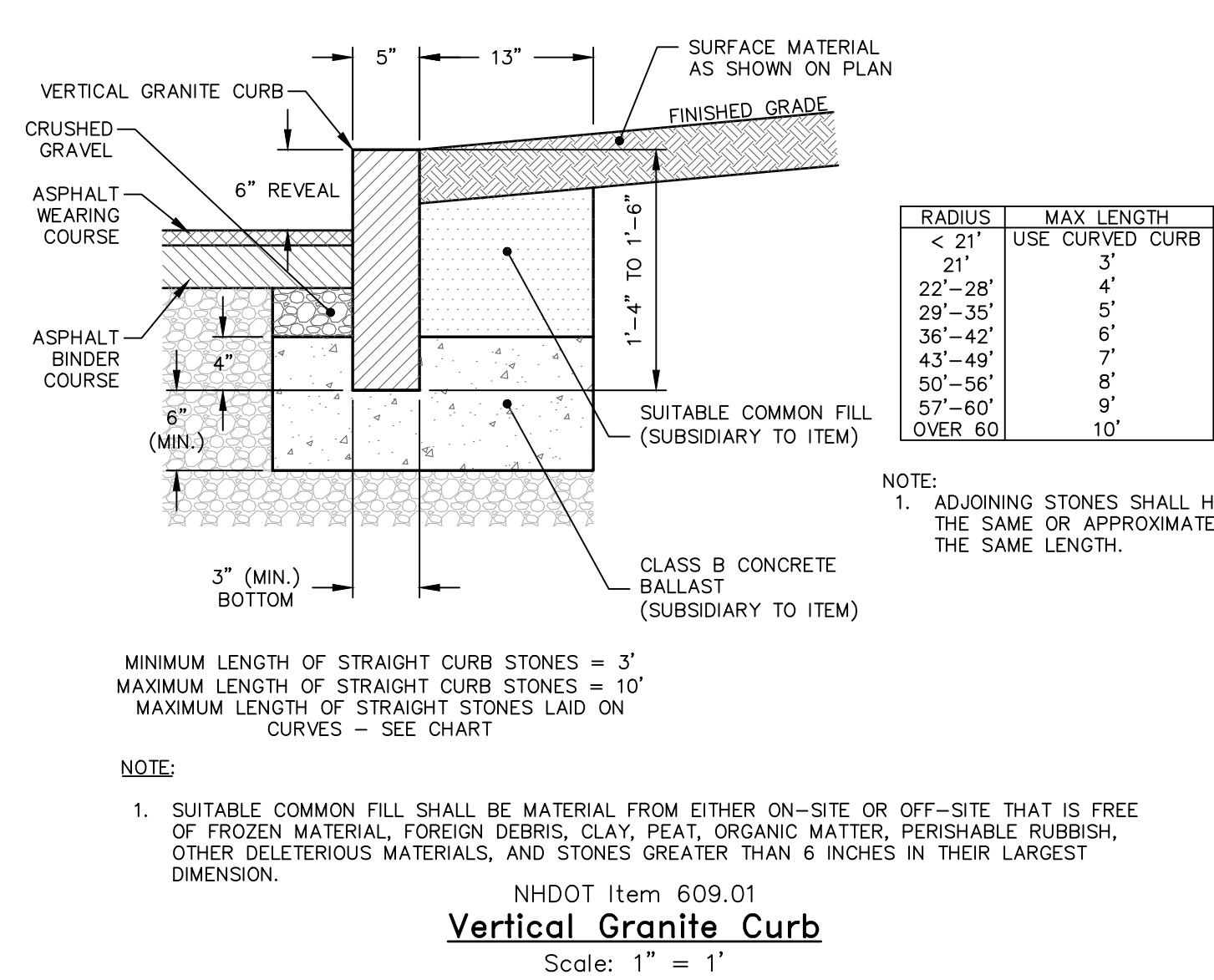
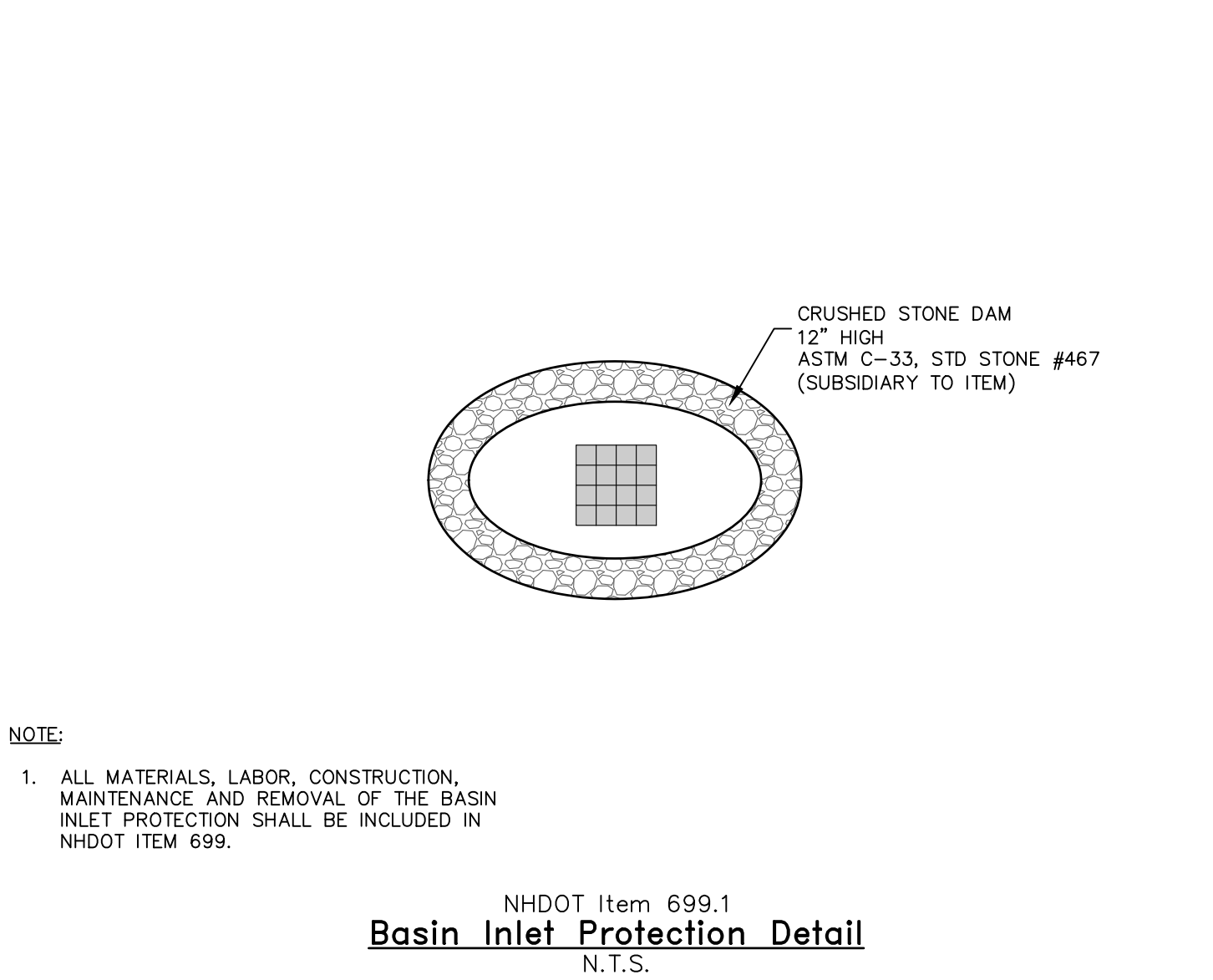
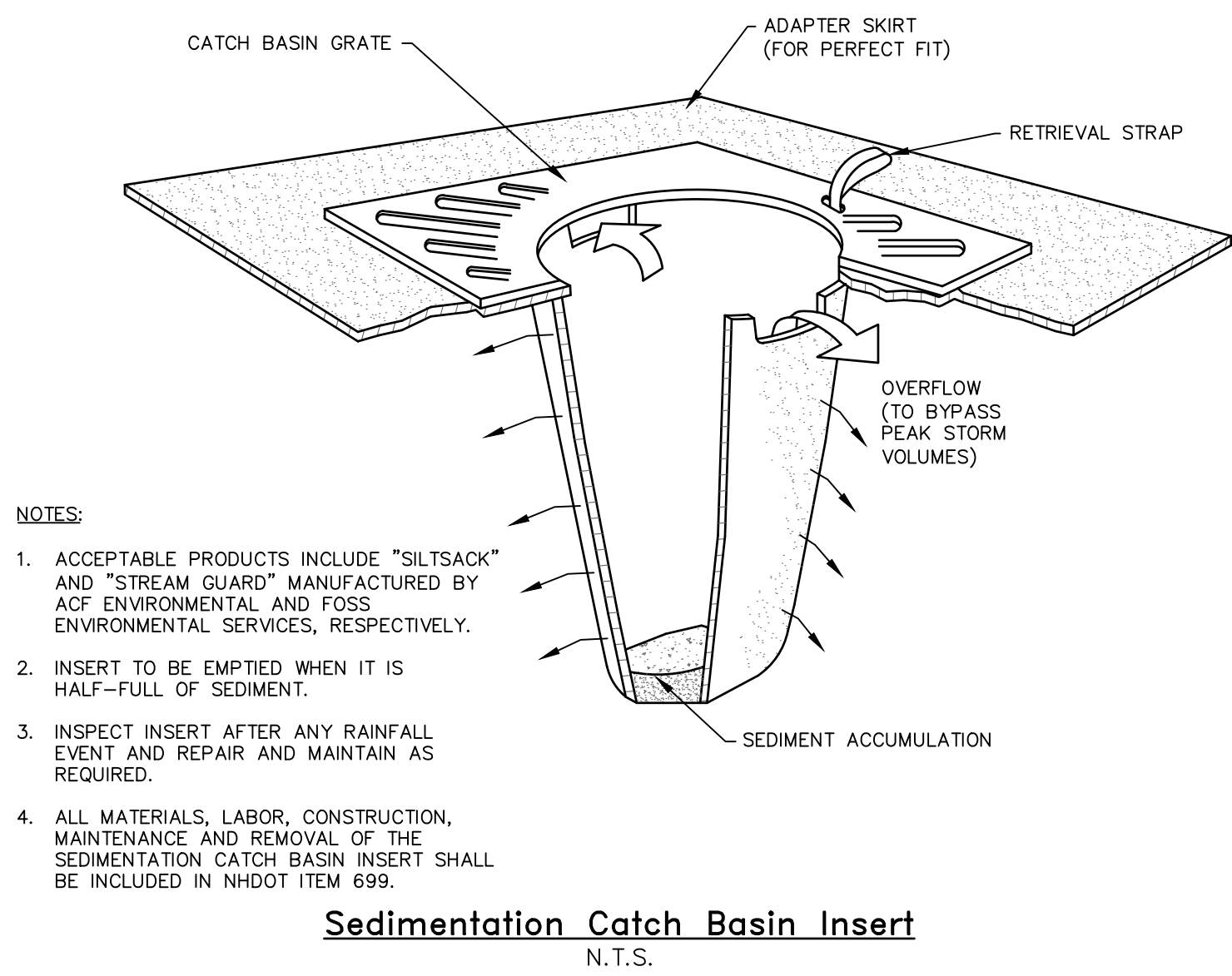
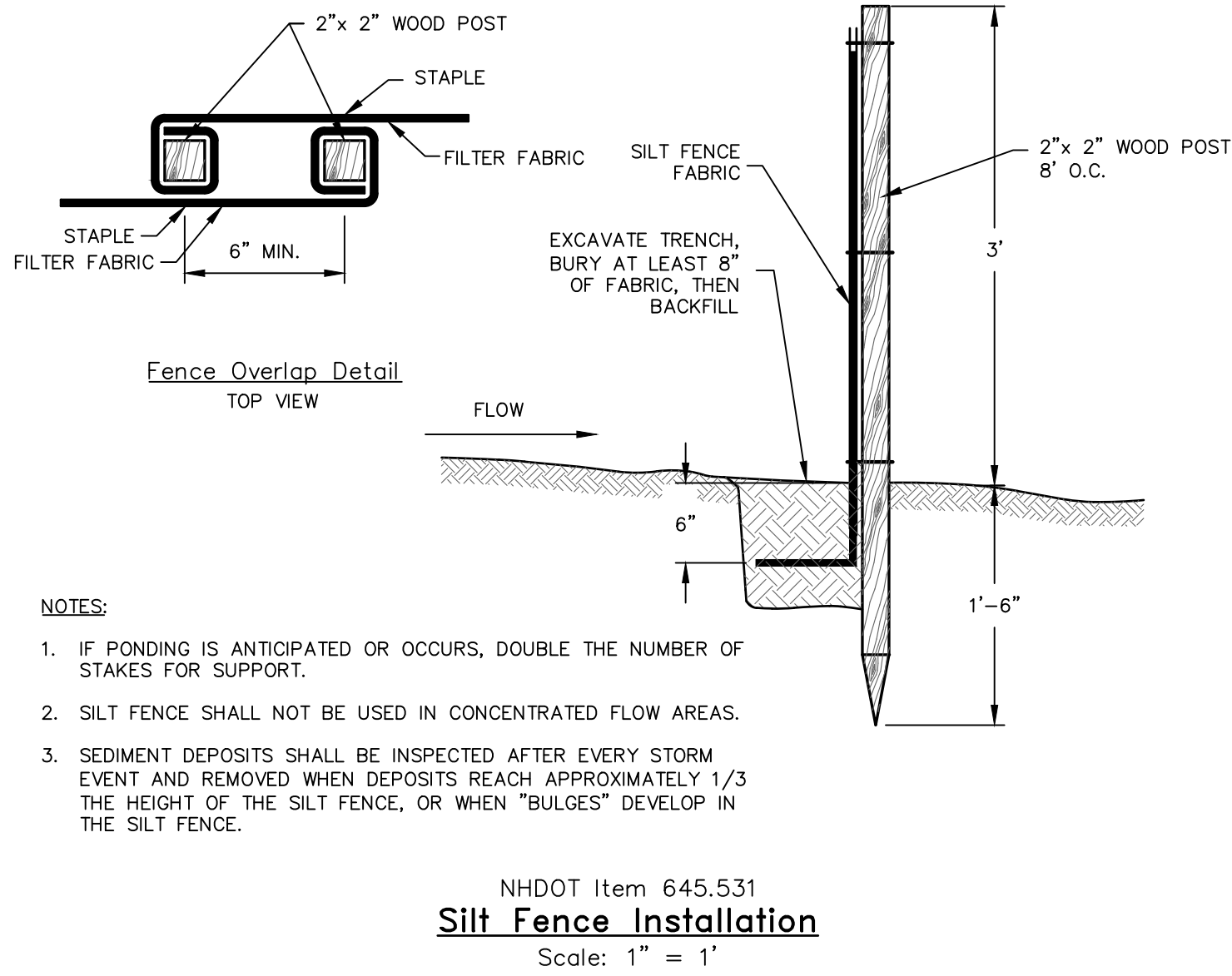
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DESIGNED BY	AML/JJW
DRAWN BY	AML/JJW
CHECKED BY	JMM
FIELD BOOK	361
SCALE	1"=20'
DATE	09/09/2025

Landscaping Plan
for
HEB Engineers Office Building Expansion
in
Conway, New Hampshire
property of
Bergeron & Burnell, Inc.

2024-113

C1.41

SHEET 8 OF 14

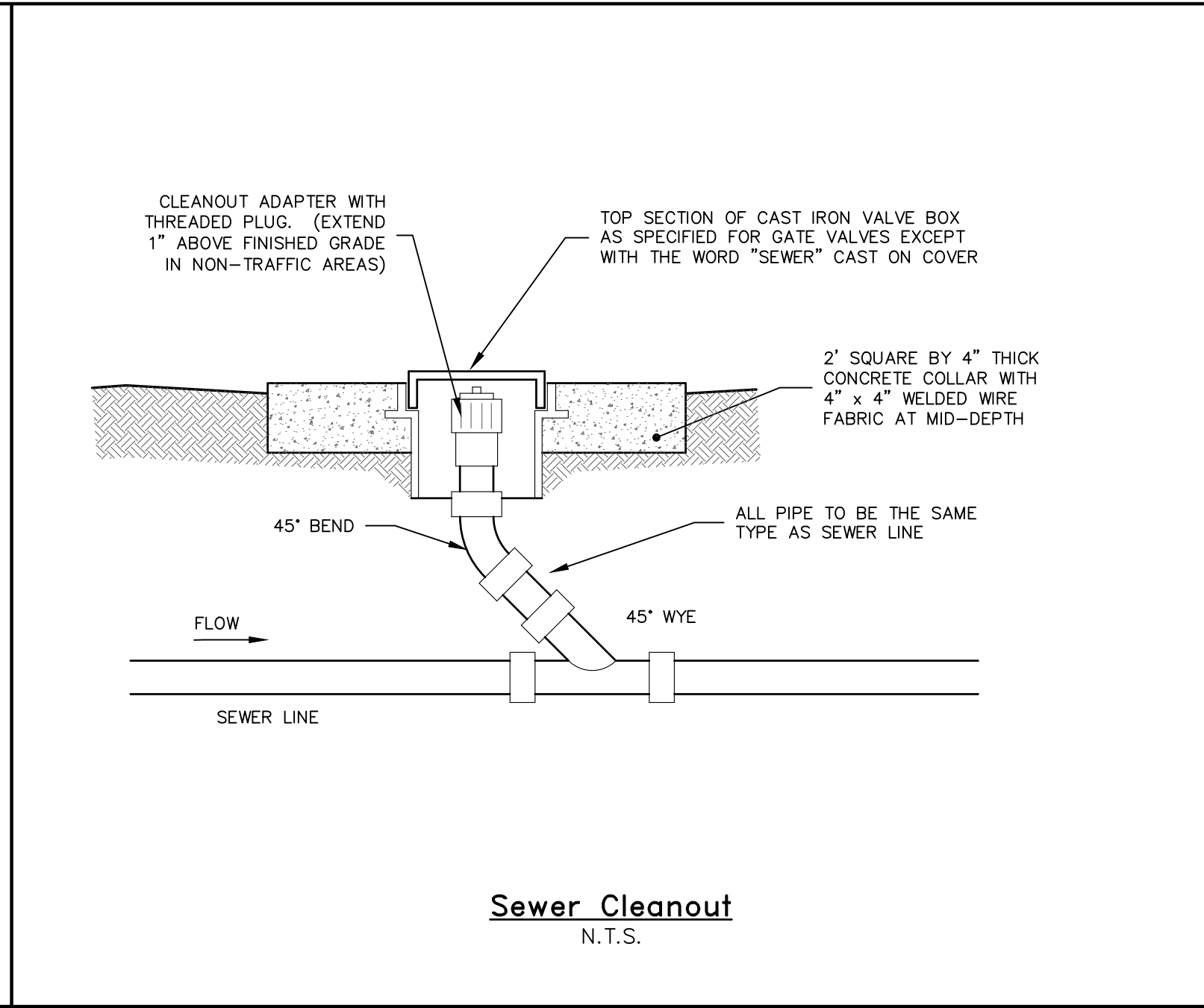
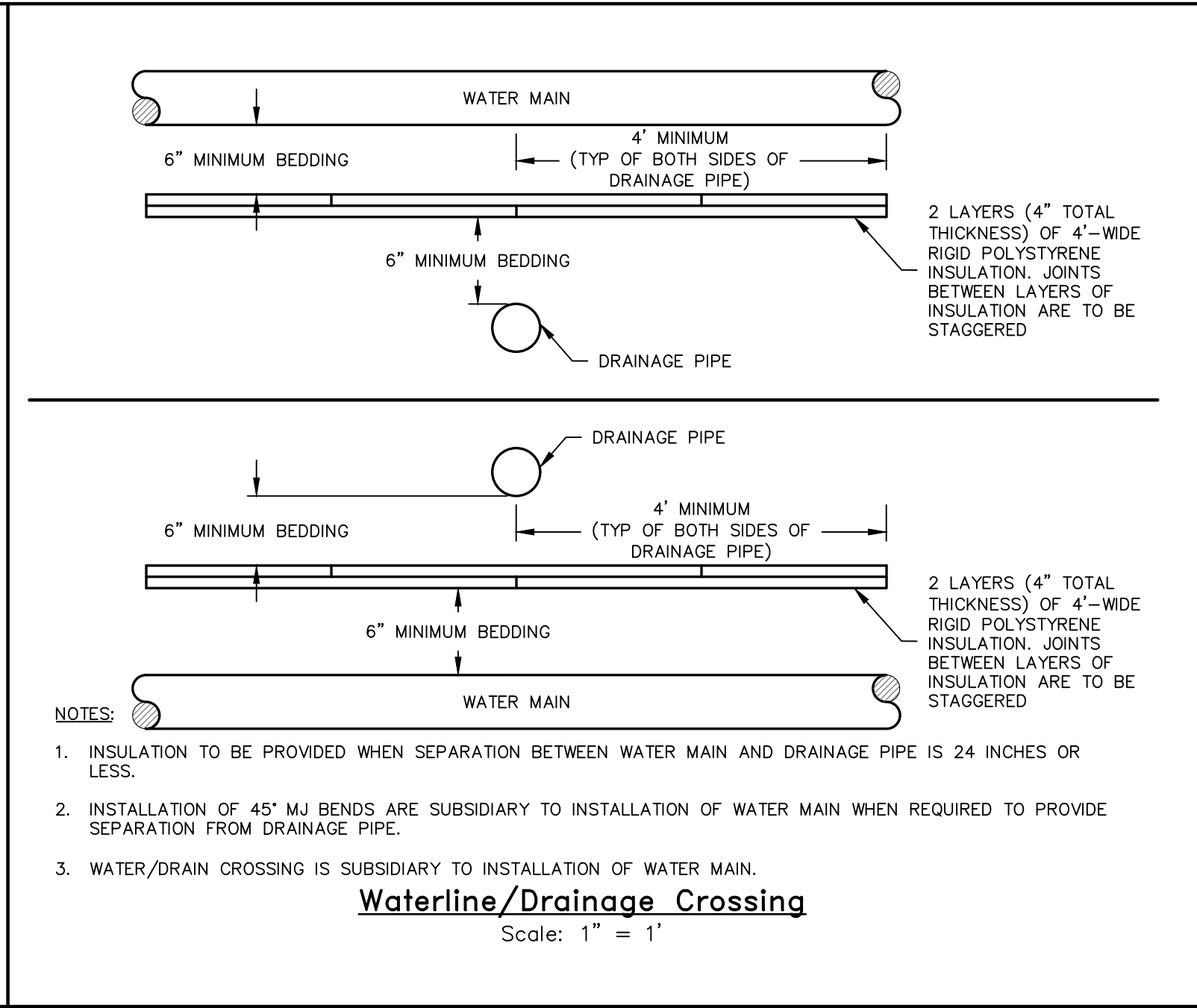
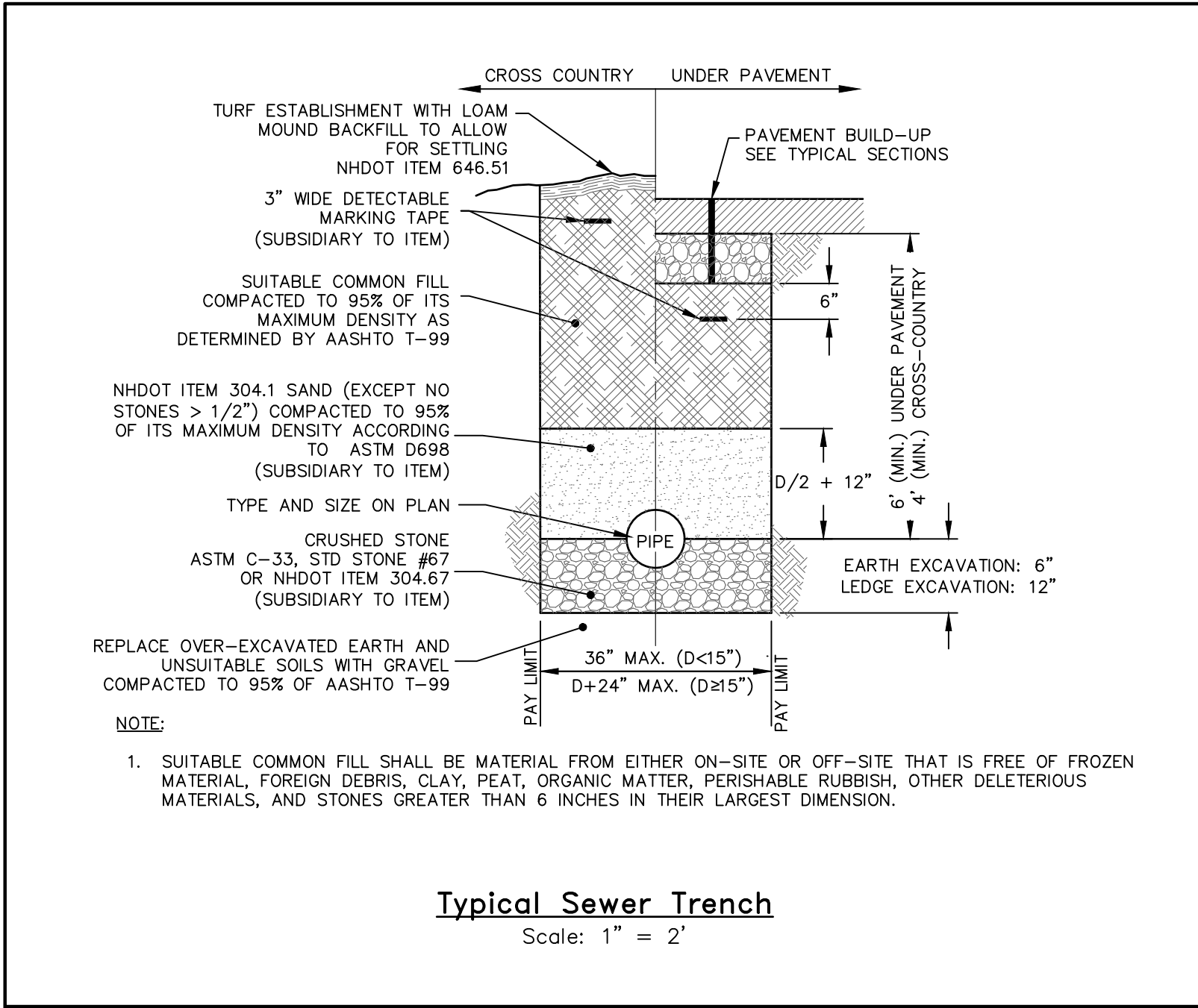


Copyright		2025		HEB Engineers, Inc.	
1	Not Revised	09/26/25	AML/CFX		
No.	Revision	DATE	BY		

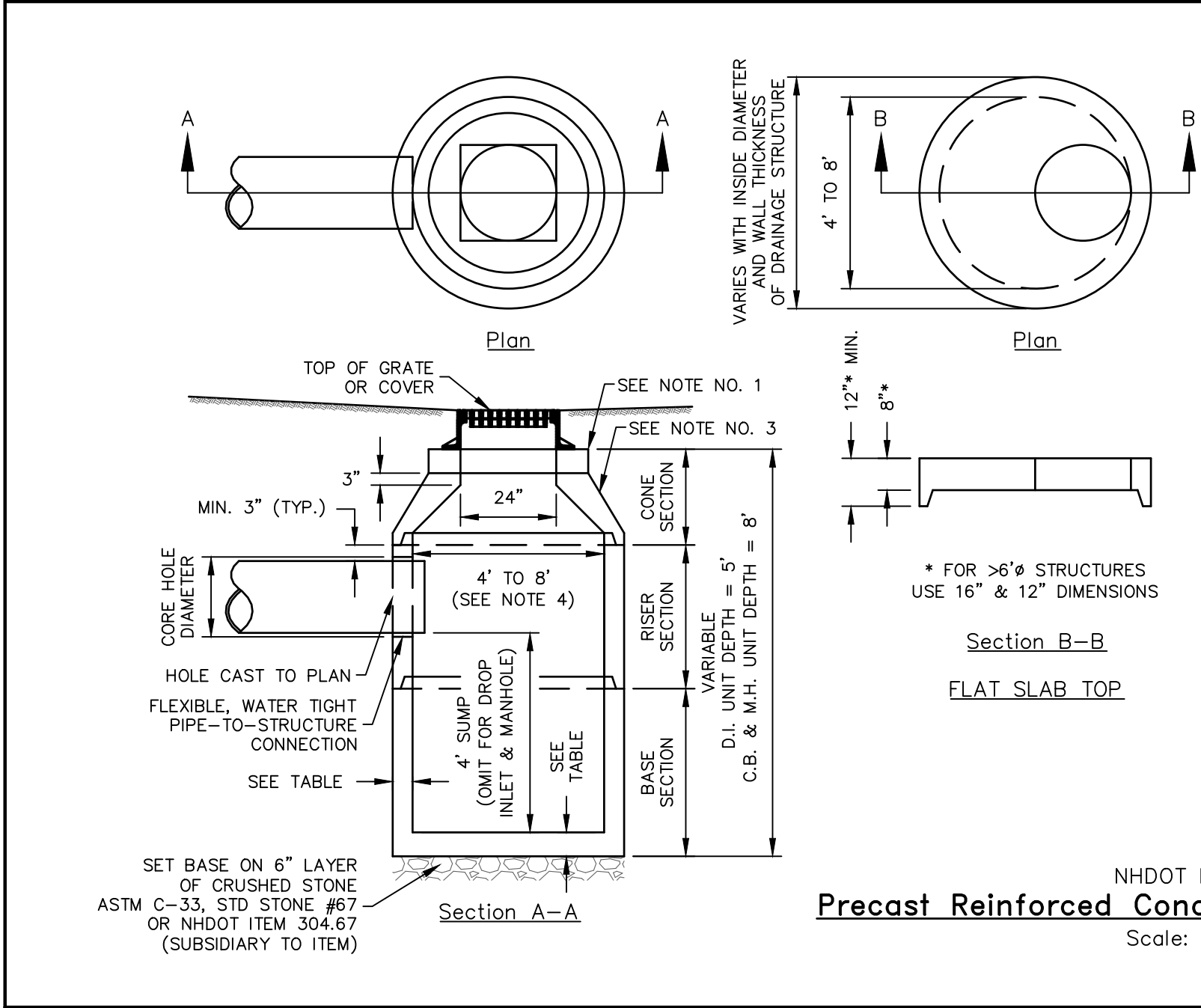
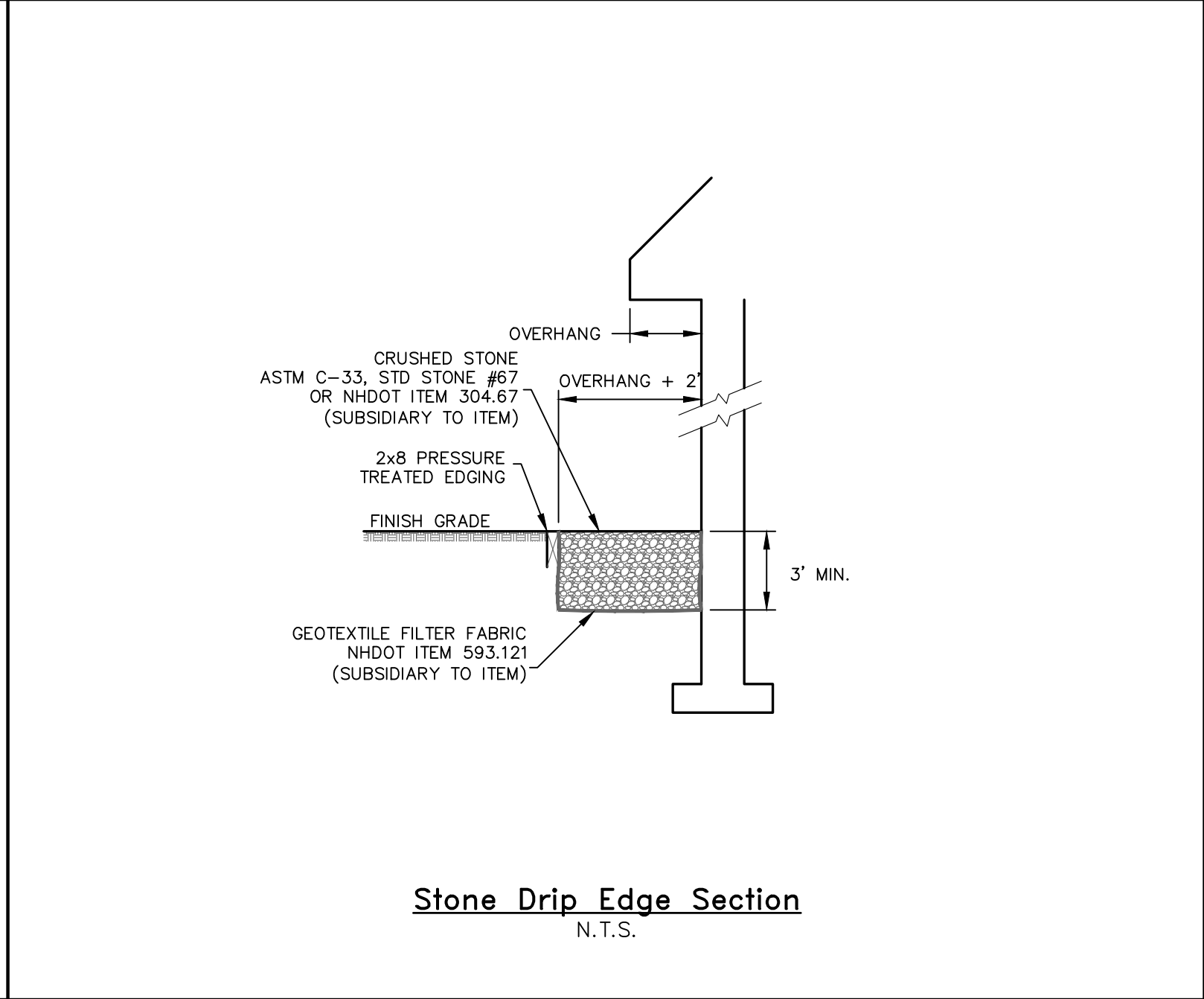
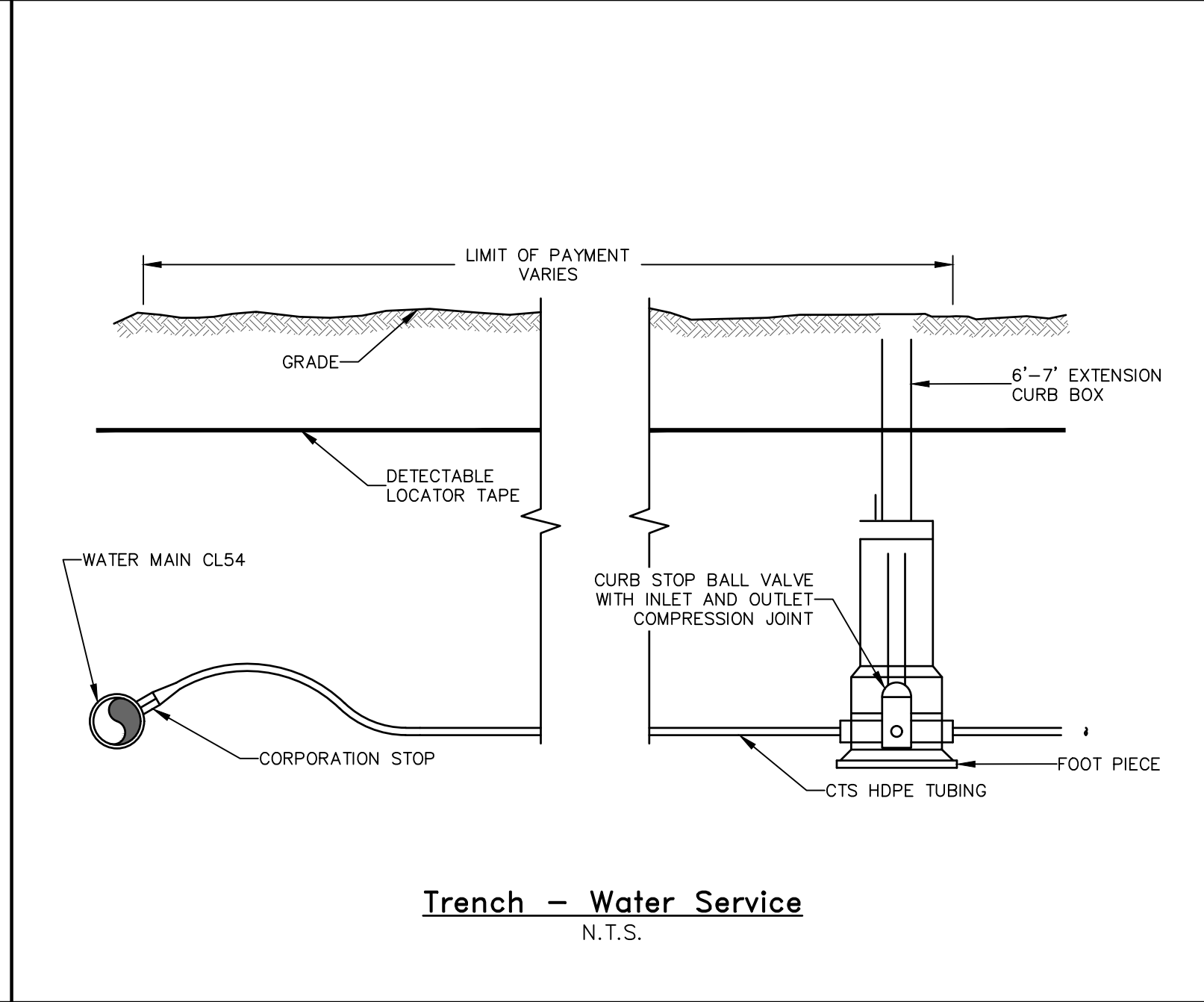
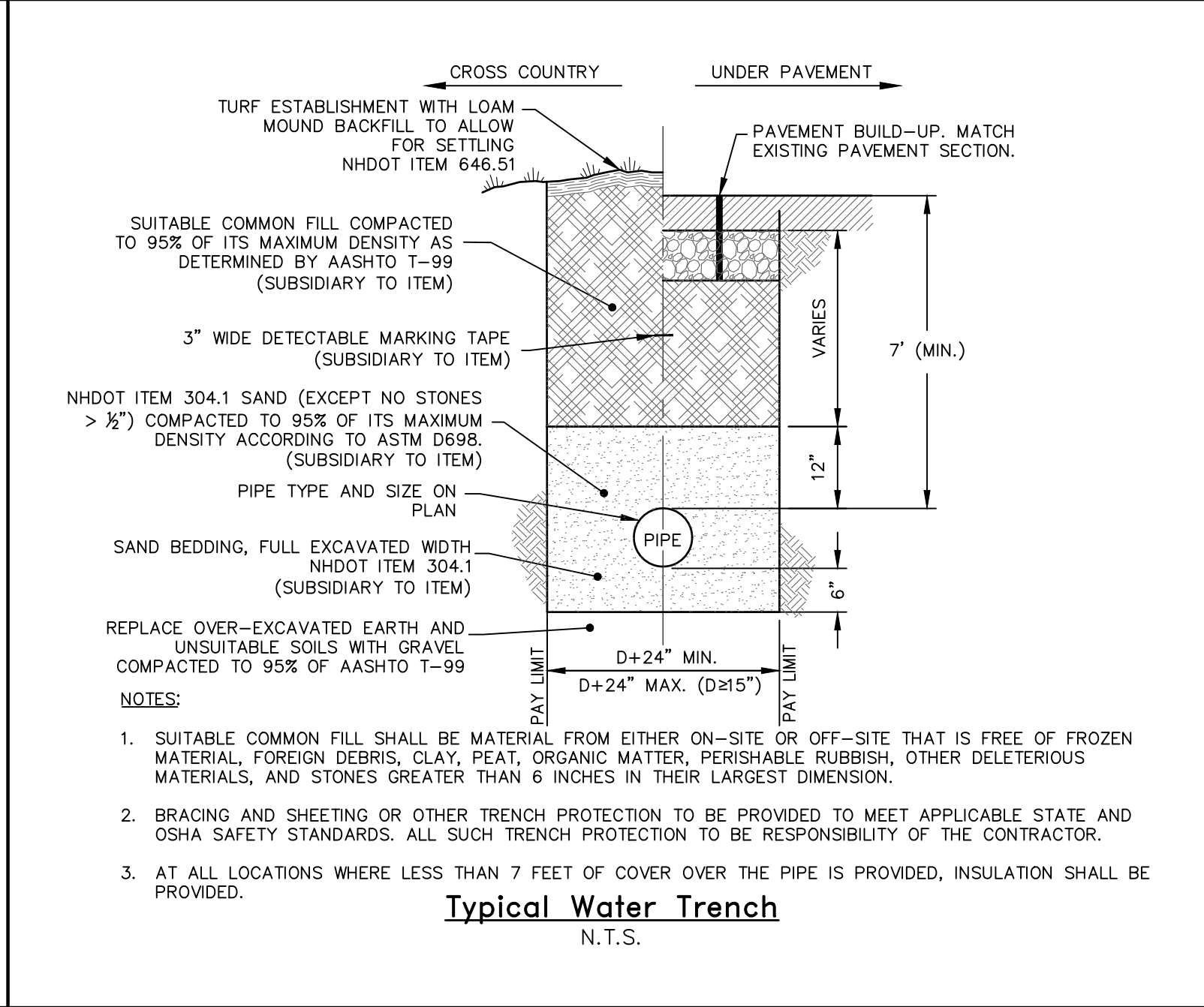
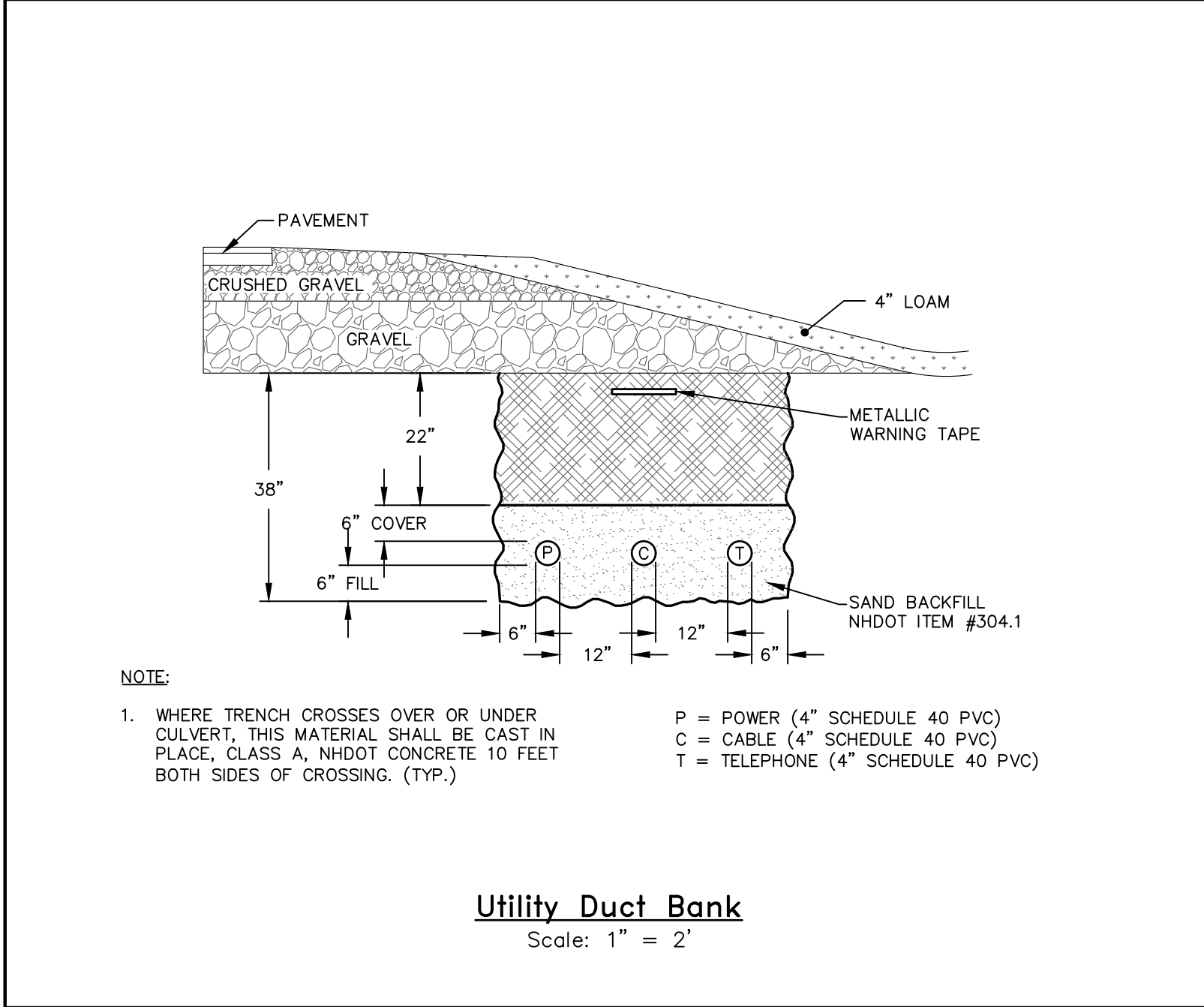


SURVEYED BY	MPM/SPP
DESIGNED BY	AML/JJW
DRAWN BY	AML/JJW
CHECKED BY	JMM
FIELD BOOK	361
SCALE	AS NOTED
DATE	09/09/2025

Construction Details – General
for
HEB Engineers Office Building Expansion
in
Conway, New Hampshire
property of
Bergeron & Burnell, Inc.



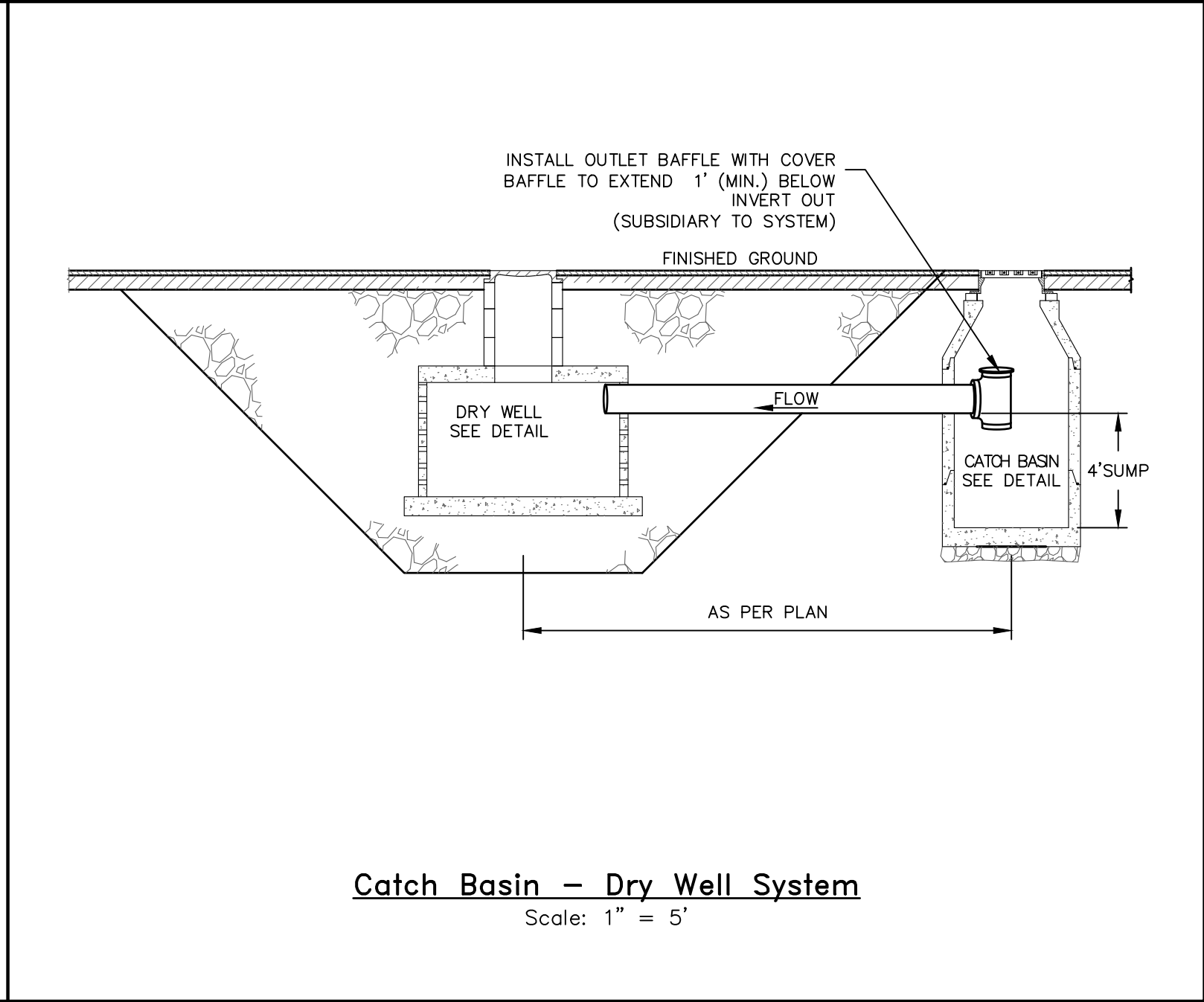
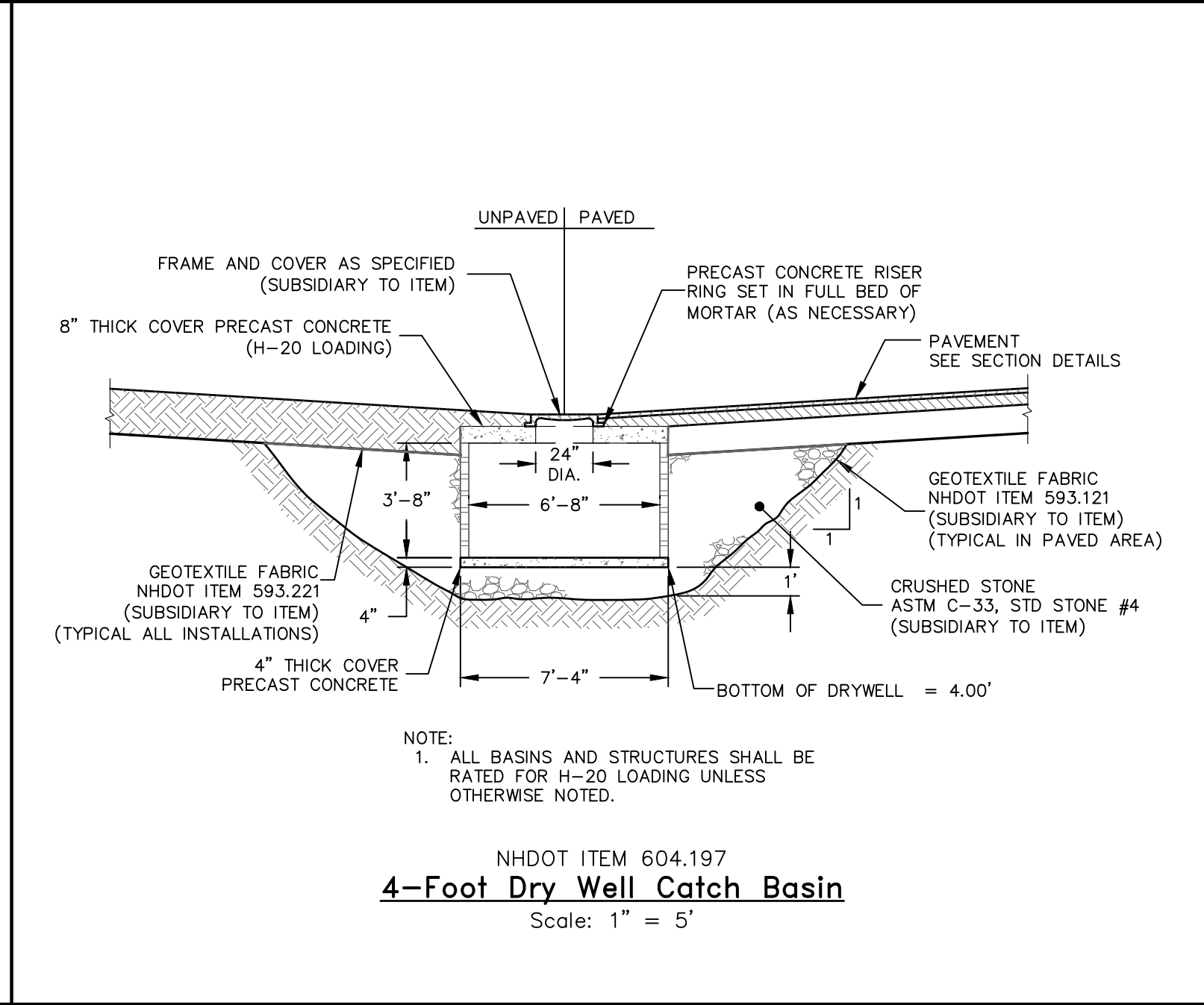
- General Utility Notes:**
- All conduits shall be furnished with a pull string capable of a 300 pound pull.
 - All bends are to be 36 inches radius sweeps (no plumber's bends). All conduit sweeps shall be constructed of rigid galvanized steel (RGS) conduit. The initial 10 feet of conduit either entering or exiting the primary transformer shall be RGS conduit.
 - All utility pole risers are to be constructed of RGS conduit. RGS conduit to be installed a minimum of 10 feet above finished grade and extend 10 feet beyond the underground sweep.
 - All conduit installations under roadways are to be constructed of schedule 80 PVC conduit or better.
 - Where utility duct bank crosses over or under culverts, conduits to be encased with cast-in-place concrete for 10 feet either side of crossing.
 - All conduits are to be swept up hard together a minimum of 6 inches above finished grade at all pedestal locations and must fit 11 inches x 11 inches square area to allow closure to fit over ends.
 - All conduits must be labeled telephone, cable, or electric with direction of run indicated so as to positively identify them and furnished with a pull string capable of a 300 pound pull.
 - A #6 AWG copper ground wire shall be connected to the power company transformer/ sector cabinet location and run from there to the pedestal leaving a 3 feet coil secured to the conduit to prevent its loss.
 - All electrical work to comply with governing utility company standards.
 - Cable and telephone will follow and be constructed in the same trench as electrical.



CORE HOLE SIZE					
PIPE SIZE INCHES	CORE HOLE DIA.		CORE HOLE DIA.		PLASTIC INCHES
	INCHES	FEET	INCHES	FEET	
6	12	18	1.5	1.8	0.6
12	15	22	1.8	2.0	1.7
18	24	34	2.8	3.2	2.7
24	30	42	3.5	4.2	3.5
36	48	64	5.3	6.4	5.3
42	54	72	6.0	7.2	6.0
48	64	84	6.4	8.4	6.4
54	72	96	7.2	9.6	7.2
60	78	108	8.0	10.8	8.0

GENERAL NOTES:

- FITTING FRAME TO GRADE MAY BE DONE WITH PREFABRICATED ADJUSTMENT RINGS OR CLAY BRICKS (2 COURSES MAX).
- CATCH BASIN GRATES IN PAVED AREAS SHALL BE SET ACCORDING TO THE PAVEMENT DEPRESSION DETAIL FOR BASINS INSTALLED ALONG ROADWAY CURBLINES.
- CONE SECTIONS MAY BE EITHER CONCENTRIC OR ECCENTRIC, OR FLAT SLAB TOPS MAY BE USED WHERE PIPE WOULD OTHERWISE ENTER INTO THE CONE SECTION OF THE STRUCTURE AND WHERE PERMITTED.
- FOR STRUCTURES WITH DIAMETERS GREATER THAN 4 FEET, THE DIAMETER MAY BE CONSTANT FROM TOP TO BOTTOM WITH A FLAT SLAB TOP, OR A RISER SECTION THAT TRANSITIONS FROM A STANDARD 4-FOOT CONE SECTION TO THE LARGER DIAMETER RISER, OR BASE SECTION MAY BE USED.
- PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
- OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3 INCHES BEYOND INSIDE WALL OF STRUCTURE.
- PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4 INCHES HIGH, AT AN 11 DEGREE ANGLE CENTERED IN THE WIDTH OF THE WALL, AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
- ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12 INCHES OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75 PERCENT OF A HORIZONTAL CROSS-SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3 INCHES TO JOINTS.





NORTH ELEVATION



SOUTH ELEVATION

PROJECT NAME:
MICHAEL E. COUTURE ARCHITECT
53 TECHNOLOGY LANE, #109
CONWAY, NH
(603) 387-5817
michael.e.couture@gmail.com

PROJECT NAME:
HEB OFFICE BUILDING
2605 WHITE MTN HWY
NORTH CONWAY, NH, ME

SHEET TITLE
NORTH & SOUTH ELEVATIONS
DRAWN BY:
MEC

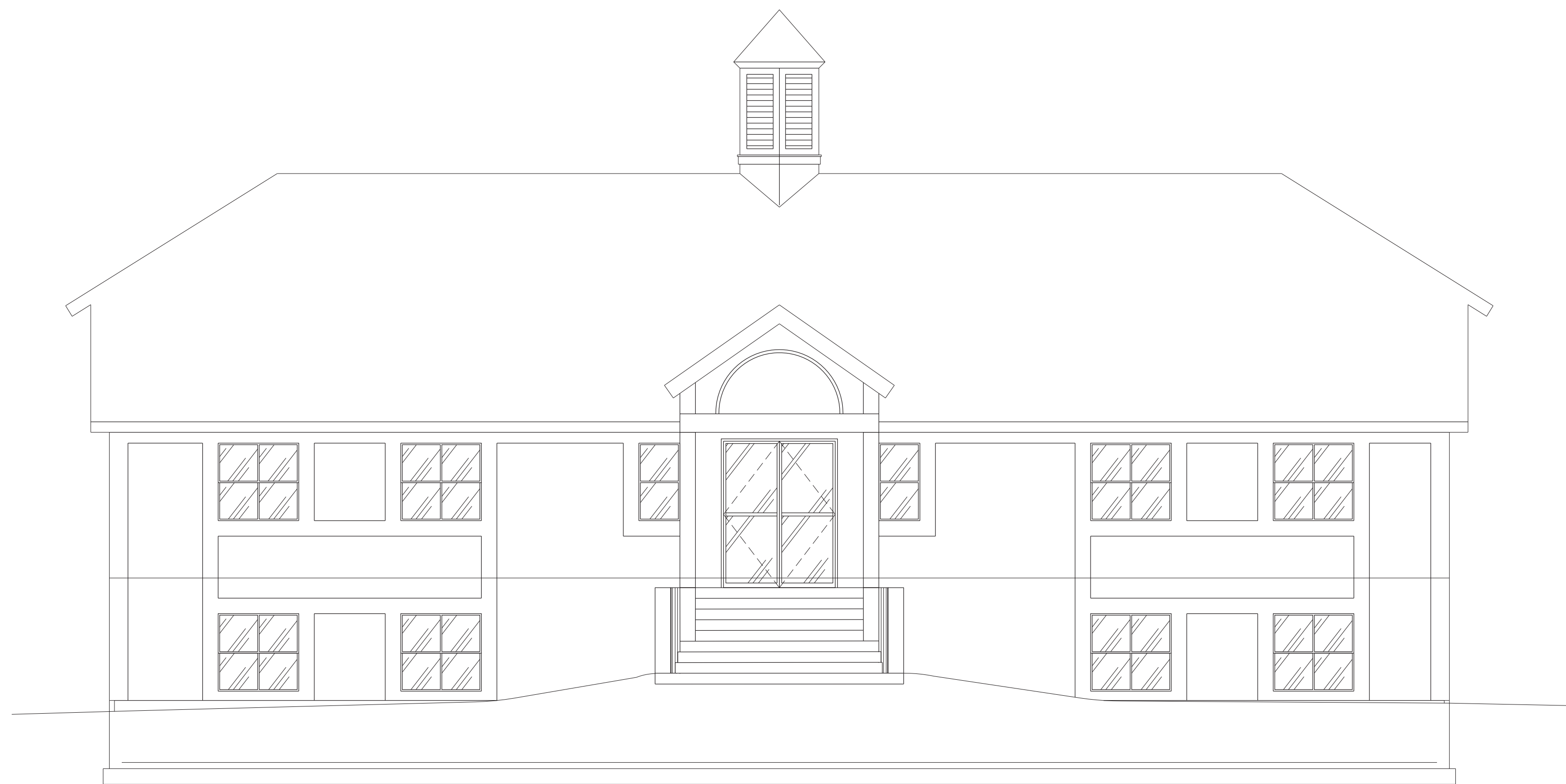
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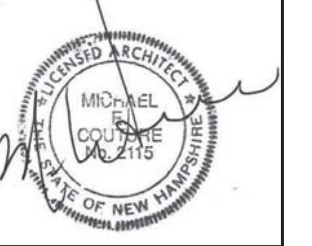
SHEET NUMBER
A-201



EAST ELEVATION



WEST ELEVATION



PROJECT TEAM:
ARCHITECT:
MICHAEL E. COUTURE ARCHITECT
53 TECHNOLOGY LANE, #109
CONWAY, NH
(603) 387-5817
michael.e.couture@gmail.com

PROJECT NAME:
HEB OFFICE BUILDING
2605 WHITE MTN HWY
NORTH CONWAY, NH, ME

SHEET TITLE:
EAST & WEST ELEVATIONS

DRAWN BY:
MEC

SCALE:
1/4"=1'-0"

DATE:
09.03.25

SHEET NUMBER

A-202



WALL AREA: 970 SF
FENESTRATION: 86 SF
FENESTRATION PERCENTAGE: 9%

NORTH ELEVATION



WALL AREA: 1,129 SF
FENESTRATION: 104 SF
FENESTRATION PERCENTAGE: 9%

SOUTH ELEVATION



PROJECT TEAM
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MICHAEL E. COUTURE, ARCHITECT
53 TECHNOLOGY LANE, #109
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(603) 387-5817
michael.e.couture@gmail.com

PROJECT NAME:
HEB OFFICE BUILDING
2605 WHITE MTN HWY
NORTH CONWAY, NH, ME

SHEET TITLE
GARAGE NORTH & SOUTH ELEVATIONS

DRAWN BY: MEC

SCALE: 1/4"=1'-0"

DATE: 09.04.25

SHEET NUMBER

G-201



PROJECT TEAM
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MICHAEL E. COUTURE, ARCHITECT
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PROJECT NAME:
HEB OFFICE BUILDING
2605 WHITE MTN HWY
NORTH CONWAY, NH, ME

SHEET TITLE
GARAGE EAST & WEST ELEVATIONS

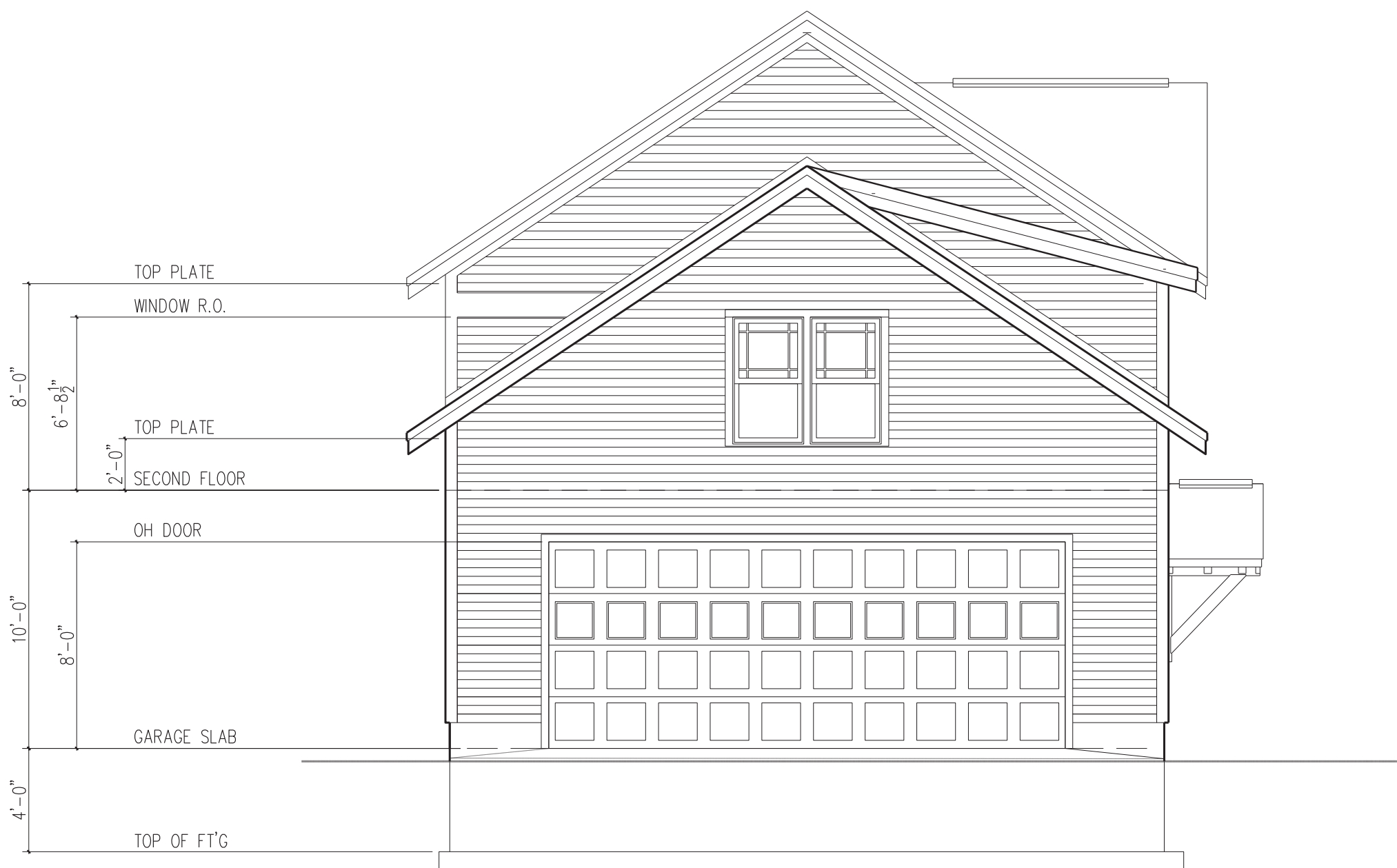
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SCALE: 1/4"=1'-0"

DATE: 09.04.25

SHEET NUMBER

G-202



WALL AREA: 622 SF
FENESTRATION: 52 SF
FENESTRATION PERCENTAGE: 8%

WEST ELEVATION



WALL AREA: 652 SF
FENESTRATION: 84 SF
FENESTRATION PERCENTAGE: 13%

EAST ELEVATION